

TOWN OF KENNEBUNKPORT, MAINE

**Board of Selectmen Agenda
April 25, 2024 @ 6:00 PM
VILLAGE FIRE STATION
32 North Street**

This is an in-person meeting, but the public may join in the Zoom webinar format.

Join by **computer or mobile device** and click on:

<https://us06web.zoom.us/j/88117341683>

or go to **ZOOM** and enter the **webinar ID**: 881 1734 1683

By **phone** 1(929) 205 6099 US

1. Call to Order.
2. Approve the April 11, 2024, selectmen meeting minutes.
3. Public Forum (This is an opportunity for anyone who wants to address the Board of Selectmen with any issue that is not on the agenda.)
4. Consider the following renewal liquor licenses submitted by Kennebunkport Resort Collection:
 - a. Cape Arundel Inn, LLC, located at 208 Ocean Avenue
 - b. The Boathouse at Kennebunkport, LLC at 21 Ocean Avenue
 - c. Ivy One, LLC d/b/a The Clubhouse at Cape Arundel Inn located at 8 Old Fort Avenue
 - d. Hidden Pond, LLC, located at 354 Goose Rocks Road
 - e. The Kennebunkport Inn, LLC, located at 1 Dock Square
 - f. Lodge on the Cove, LLC, located at 29 South Main Street
 - g. Yachtsman Hospitality, LLC at 57 Ocean Avenue
 - h. Tides Beach Club, LLC, located at 930 Kings Highway
5. Consider a special amusement license for Sandy Pines Campground, 277 Mills Road.

6. Ocean Avenue Engineering Update (Woodard & Curran)
7. Authorize Wastewater Commitment for Calendar Year 2024.
8. Certification of the referendum questions for the June town meeting warrant.
9. Authorize and sign the June 2024 town meeting warrant.
10. Countersign the RSU 21 Budget Validation Referendum Election Warrant.
11. Set a public hearing date of May 9, 2024, to consider ordinance revisions on the June 12, 2024, town meeting ballot.
12. Authorize a three-year lease with KEMS for the use of the Cape Porpoise Fire Station.
13. Public Safety Study recommendations.
14. Formation of the Sustainability Committee.
15. Appoint Derrick Stephens as the Code Enforcement Officer.
16. Other Business.
17. Approve the April 25, 2024, Treasurer's Warrant.
18. Adjournment.

AGENDA ITEM DIVIDER

Town of Kennebunkport
Board of Selectmen Meeting
April 11, 2024
6:00 PM
Village Fire Station (32 North Street)

MINUTES

Selectmen attending: Mike Weston, Sheila Matthews-Bull, Allen Daggett, Jon Dykstra, Marybeth Gilbert.

1. Call To Order.

Chairman Weston called the meeting to order at 6:02 PM.

2. Approve the March 21, 2024, joint meeting with the Budget Board minutes and March 28, 2024, selectmen meeting minutes.

Motion by Selectman Daggett, seconded by Selectman Matthews-Bull, to approve the March 21, 2024, joint meeting with the Budget Board minutes and March 28, 2024, selectmen meeting minutes. **Voted:** 5-0. **Motion passed.**

3. Public Forum (This is an opportunity for anyone who wants to address the Board of Selectmen with any issue that is not on the agenda.)

Nina Pearlmutter addressed the Board about two subjects:

- The proposed new Town Hall and the Village Parcel – she thinks communication with the community could be improved and suggested a USPS mailing for increased reach to seniors. She thinks that the Village Parcel & North St. Fire Station locations, both along North Street, are a poor choice because of the high volume of traffic. She suggested that a senior center and perhaps a community garden be integrated as part of the new Town Hall plan.
- Flooding and stormwater runoff – she stated that abutters are increasingly concerned about new construction in or near wetlands, the addition of impervious surfaces, and the resulting stormwater runoff onto established properties. She feels that abutters should be notified in cases where a Maine DEP permit was issued, just as they are now if a project goes before the Planning Board.

4. Consider the renewal liquor license submitted by W & A Inc., Cape Pier Chowder House, located at 79 Pier Rd., Cape Porpoise, ME 04014.

Selectman Daggett recused himself as this is his business. Selectman Dykstra asked if the errors in the application had been corrected. Laurie Smith, Town Manager, informed

him that they had been corrected on the official copy. Selectman Dykstra read the corrections aloud: the amount for food should be \$975,669, and the amount for beer & wine should be \$94,963.

Motion by Selectman Matthews-Bull, seconded by Selectman Dykstra, to approve the renewal liquor license submitted by W & A Inc., Cape Pier Chowder House, located at 79 Pier Rd., Cape Porpoise, ME 04014. **Voted:** 4-0-1. **Motion passed.**

5. Review and vote on the proposed warrant articles for the Town Meeting in June.

Tracey O’Roak, Town Clerk, walked the Board through the “housekeeping” articles on which they had not already voted.

Selectman Gilbert had questions about Article 2a regarding the sale of Town owned property, inquiring if such sales should not first be put to a Town vote. After considerable discussion, most of the Board expressed that they felt the current process with State procedural overlay was sufficient.

Motion by Selectman Matthews-Bull, seconded by Selectman Dykstra, to accept Article 2 as written **Voted:** 4-1. **Motion passed.**

Motion by Selectman Matthews-Bull, seconded by Selectman Gilbert, to accept Article 3 as written **Voted:** 5-0. **Motion passed.**

Motion by Selectman Daggett, seconded by Selectman Dykstra, to accept Article 4 as written **Voted:** 5-0. **Motion passed.**

Motion by Selectman Dykstra, seconded by Selectman Gilbert, to accept Article 11 as written **Voted:** 5-0. **Motion passed.**

Selectman Daggett had a question about Article 12, asking if the fire trucks were being given to the Goose Rocks Fire Station. Jay Everett, Fire Chief, explained that historically when such equipment has been purchased with Kittredge or donation funds associated with a particular fire company, the same company has been given the equipment to be done with as they see fit. If they sell the equipment, the proceeds will go towards other needs of that company or be put back into the Kittredge fund.

Chairman Weston asked if the Board had any questions for Chief Everett on Fire Department related articles 13 or 14. They did not.

Motion by Selectman Weston, seconded by Selectman Matthews-Bull, to accept Articles 12, 13 and 14 as written **Voted: 5-0. Motion passed.**

6. Review and vote on the proposed order regarding ballot questions.

Chairman Weston summarized Question 1 as an amendment to the Kennebunkport Land Use Ordinance (LUO) to bring it into compliance with LD 2003 regarding the new State housing law. Question 2 is an amendment to the Kennebunkport Town Code Floodplain Management Ordinance. Both have been reviewed publicly in detail many times by the Board in previous meetings.

Motion by Selectman Daggett, seconded by Selectman Dykstra, to accept the order of Question 1 & 2. **Voted: 5-0. Motion passed.**

7. Cape Porpoise Pier Bid Update.

Barney Baker, engineer with GEI, informed the Board that they received four bids for the project. The Town budget for the project is about \$1.5 million short of the low bid despite the funding increase approved last fall. The low bidder was Prock Marine Company, which has done quality work for Kennebunkport and other municipalities. Barney recommended that we ask the bidders to extend the open bid period and ask for an EDA and DOT permitting extension, giving us time to secure additional grant funds for the project (e.g. Maine Infrastructure Resiliency funds). Laurie noted that if additional funding is not secured soon and the project is delayed another year, some interim repair work at the pier will be required. Mike Claus, consultant for the pier project, added that the State and Federal entities had been very helpful in keeping the project moving forward.

Chairman Weston laid out three options for the board to consider:

- Reject the bids while we seek alternative funding and re-examine the scope of the project.
- Request \$1.5 million from the voters to complete the project.
- Ask Prock for a bid award extension and continue to seek additional funds from State and Federal agencies.

Motion by Selectman Daggett, seconded by Selectman Dykstra, to Ask Prock for a bid award extension and continue to seek additional funds from State and Federal agencies **Voted: 5-0. Motion passed.**

8. Enterprise budget presentations:

a. Recreation Special Revenue Budget.

Stephanie Simpson, Director of Parks and Recreation, presented the program revenue and expenses. She noted that they do not plan to conduct the Chalk the Port event this year. After their expenses and revenue, they will transfer \$85,000 to the general fund.

Motion by Selectman Daggett, seconded by Selectman Dykstra, to approve the Recreation Special Revenue Budget. **Voted: 5-0. Motion passed.**

b. Wastewater Budget.

Chris Simeoni, Director of Public Works, informed the Board that we processed significantly more wastewater this past year than in previous years. He described the multi-year effort to replace and renew equipment and systems that are well past their intended lifespan and to make equipment more climate resilient. We have been using reserve funds to pay for engineering for large, bonded projects, which is not sustainable long term. Chris recommended an annual balance of \$500,000 to \$600,000 in operating capital to fund smaller projects that are not typically bonded and stop the practice of using reserve funds for this purpose. He is proposing a sewer rate increase of \$85, from \$569.87 to \$654.87 for FY25. This budget was presented to the Wastewater Advisory Committee and was unanimously approved.

Motion by Selectman Dykstra, seconded by Selectman Daggett, to approve the Wastewater budget and set the FY25 sewer rate at \$654.87. **Voted: 5-0. Motion passed.**

c. Cape Porpoise Pier Budget.

Frank Orr, Harbormaster, reported that the Cape Porpoise Pier statistics are very similar to last year. Priorities for FY25 are supporting the pier rehabilitation project, managing the public boat launch, and supporting aquaculture. The Pier Advisory Committee unanimously approved the FY25 budget. There was an approximately \$4,000 shortfall in the budget which the Committee recommended be made up by increasing the fuel markup to \$0.65 per gallon. Waste removal costs have increased compared to prior years because the fishermen are using pre-packed frozen bait, with more packaging waste put in the dumpsters.

Motion by Selectman Daggett, seconded by Selectman Dykstra, to approve the Cape Porpoise Pier Budget. **Voted: 5-0. Motion passed.**

d. Dock Square Parking Lot Budget.

Nicole Evangelista, Finance Director, informed the Board of the breakdown for salaries and portions of salaries paid by revenues from this budget. \$421,000 is being transferred out to the General Fund to pay for expenses related to the Parking Lot. There is about a \$15,000 net increase in this budget, based on projected increased revenue from raising the parking rate from \$4 per hour to \$5 per hour.

Motion by Selectman Dykstra, seconded by Selectman Daggett, to approve the Dock Square Parking Lot Budget as presented. **Voted: 5-0. Motion passed.**

e. Government Wharf Budget.

Nicole explained that the dues for the Government Wharf members were increased for lobstermen from \$500 to \$600, commercial dues from \$300 to \$350, base dues from \$200 to \$250, and student dues from \$150 to \$200. Total revenue is \$13,550, with a net surplus of \$70.

Motion by Selectman Daggett, seconded by Selectman Matthews-Bull, to approve the Government Wharf Budget as presented. **Voted: 5-0. Motion passed.**

9. Growth Planning Committee's Recommended 2024 Comp Plan Short Term Strategies for Implementation.

Galen Weibley, Director of Planning and Development, advised the Board that the Growth Planning Committee (GPC) had two priority concerns to be addressed - storm water, and seeing if any changes should be made to the growth maps. Extensive conversation ensued among the Board members regarding the division of responsibilities between various committees (GPC or Sustainability Committee), but all members agreed that the GPC's priorities were good ones to investigate and a good direction to take.

No motion was necessary. No motion was taken.

10. Consider the formation of a Sustainability Committee.

Chairman Weston started the conversation by recounting to the committee that prior climate action tasks recommended by the committee and approved by the Select Board in 2020 had been assigned to various individuals and groups including the Town Manager, Conservation Commission, Town Staff, Board of Selectmen, Planning and Codes Department, Kennebunkport Climate Initiative, Shade Tree Committee, etc. He felt that these tasks had not been addressed because of the many other tasks and responsibilities of these groups. He suggested that progress on these tasks would be more feasible if assigned to a Climate Resiliency Committee focused on them.

Selectman Dykstra reported the perspective of the members of the Climate Action Planning Task Force from a recent meeting. They would like to see a Climate Resiliency Committee formed as an advisory committee only, doing the heavy lifting into climate related matters, and reporting back to the Select Board and Town staff periodically. One example of a task they might perform would be a detailed investigation of the return on investment (ROI) of using alternative energy sources for municipal buildings.

Selectman Gilbert asked questions about the process the new committee would use and suggested that the Board decide upon 4 or 5 most important items for the committee to focus on initially. Chairman Weston volunteered to write up a mission statement and proposed parameters for the committee to be discussed at the next Select Board meeting.

No motion was necessary. No motion was taken.

11. Appointment of the Bureau of Motor Vehicle Agent.

Tracey explained that she used to be the Town's Motor Vehicle Agent, but that a few years ago Rose Wills asked to take on that role and was assigned to it. Rose is leaving Town employment imminently, and Tracey asked to be assigned this role once again.

Motion by Selectman Matthews-Bull, seconded by Selectman Daggett, to assign Tracey O'Roak as Bureau of Motor Vehicle Agent. **Voted: 5-0. Motion passed.**

12. Other Business.

No motion was necessary. No motion was taken.

13. Other Business.

None of the Select Board members nor Laurie had Other Business.

14. Approve the April 11, 2024, Treasurer's Warrant.

Motion by Selectman Matthews-Bull, seconded by Selectman Daggett, to approve the April 11, 2024, Treasurer's Warrant. **Voted: 5-0. Motion passed.**

15. Adjournment.

Motion by Selectman Matthews-Bull, seconded by Selectman Gilbert, to adjourn. **Voted: 5-0. Motion passed.** Meeting adjourned at 8:24 PM.

Submitted by,
Dave Powell,
Technology Specialist

AGENDA ITEM DIVIDER



KENNEBUNKPORT TOWN CLERK

To: Laurie Smith, Town Manager
Board of Selectmen

Fr: Tracey O’Roak, Town Clerk

Dt: April 17, 2024

Re: Renewal Liquor Licenses and Special Amusement

We have received the following renewal applications:

Liquor Licenses:

- **Cape Arundel Inn LLC, 208 Ocean Avenue**
- **The Boathouse at Kennebunkport LLC, 21 Ocean Avenue**
- **Ivy One, LLC d/b/a The Clubhouse at Cape Arundel Inn**
- **Hidden Pond LLC, 354 Goose Rocks Road (including mini-bar)**
- **Kennebunkport Inn LLC, 1 Dock Square**
- **Lodge on the Cove LLC, 29 S. Main Street**
- **Yachtsman Hospitality LLC, 51 Ocean Avenue (including mini-bar)**
- **Tides Beach Club LLC, 930 Kings Highway (including mini-bar)**

Special Amusement:

- **Sandy Pines Campground, 277 Mills Road**

Staff have reviewed the applications and provided approval.

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Linewell dr Ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| see attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|-----------------------------------|------------|------------------|
| Cape Annedel Inn, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Pittsborough, NH |
| EOS Regional Resorts Holding Co | | |

| Residence address on all the above for previous 5 years | |
|---|-------------------|
| Name | Address: |
| Justin Grimes | Kennebunkport, ME |
| EOS Regional Resorts | New York, NY |
| Name | Address: |
| Name | Address: |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 14

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: St. Ann's by the Sea Episcopal Church

Distance: 2.10 m

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

**This Application will Expire 60 Days from the date of
Municipal or County Approval unless submitted to the Bureau**

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

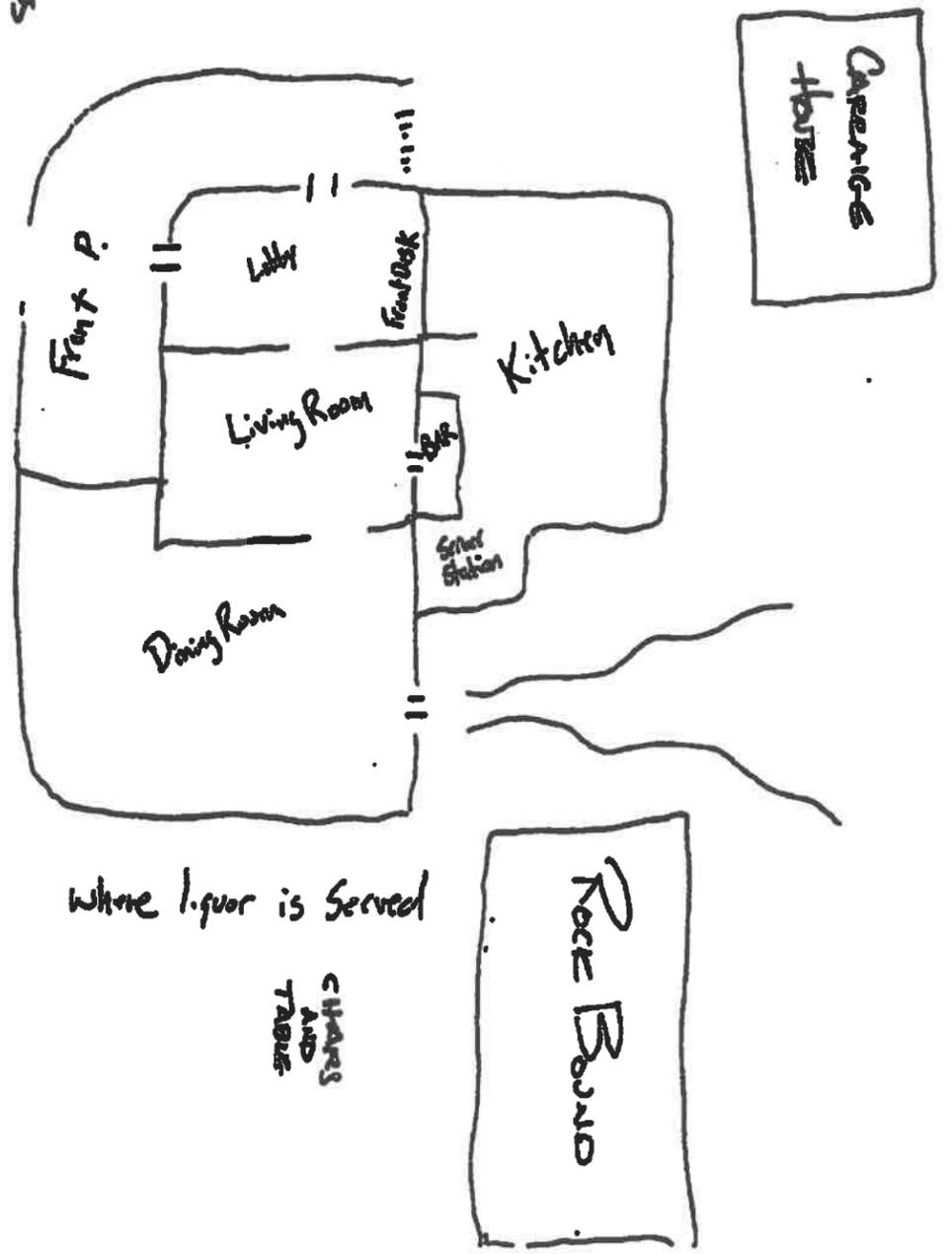
§653. Hearings; bureau review; appeal

1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.

CHAIRS
AND
TABLES

PREMISE DIAGRAM



Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Cape Arundel Inn, LLC
2. Doing Business As, if any: Cape Arundel Inn
3. Date of filing with Secretary of State: 02/22/2013 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|----------------------------|---------------------|---------------|---------------|-------------------------|
| Eos Regional Resorts Holdi | | | Member | 100 |
| Justin Grimes | Kennoboull port, ME | 05/07/1987 | managing dir. | 0 |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

Bureau of Alcoholic Beverages & Lottery Operations
 Liquor Licensing & Enforcement Division
 8 State House Station,
 Augusta, ME 04333-0008
 Phone: (207) 624-7220
 Fax: (207) 287-3434
 Email inquiries: MaineLiquor@Maine.gov



| | |
|-------------------|-----|
| DIVISION USE ONLY | |
| License No: | |
| Class: | By: |
| Deposit Date: | |
| Amt. Deposited: | |
| Cash Ck Mo: | |

Hotel Mini-bar Application

PRESENT LICENSE EXPIRES: 5/12/2024

Fee Schedule

Hotels with a current Liquor License.....\$100.00

Number of Mini-bars requested 29 X \$5.00 @ Mini-bar = 145.00 (not to exceed \$900.00)

Hotels without a Liquor License.....\$200.00

Number of Mini-bars requested _____ X \$10.00 @ Mini-bar = _____

Filing Fee.....\$10.00

ALL QUESTIONS MUST BE ANSWERED IN FULL

| | |
|--|--|
| Corporation Name: <u>Cape Arundel Inn, LLC</u> | Business Name (D/B/A) <u>Cape Arundel Inn</u> |
| APPLICANT(S) –(Sole Proprietor) DOB: | Physical Location: <u>208 Ocean Ave.</u> |
| DOB: | City/Town State Zip Code <u>Kennebunkport</u> <u>ME</u> <u>04046</u> |
| Address | Mailing Address <u>2 Linemell dr. Ste 203</u> |
| City/Town State Zip Code | City/Town State Zip Code <u>Kennebunk</u> <u>ME</u> <u>04043</u> |
| Telephone Number Fax Number <u>207-967-1519</u> <u>207-967-1516</u> | Business Telephone Number Fax Number <u>207-967-2125</u> |
| Federal I.D. # <u>46-2133871</u> | Seller Certificate #: or Sales Tax #: <u>1162110</u> |
| Email Address: Please Print <u>licenses@krcmaine.com</u> | Website: <u>www.capearundelinn.com</u> |

1. Is applicant a corporation, limited liability company or limited partnership? YES NO

If Yes, please complete Corporate Information Required for Business Entities who are licensees.

2. If manager is to be employed, give name: Justin Grimes

3. If business is NEW or under new ownership, indicate starting date: _____

Requested inspection date: _____ Business hours: _____

4. Business records are located at: 2 Linemell dr Ste 203 Kennebunk ME 04043

5. Is/are applicants(s) citizens of the United States? YES NO

6. Is/are applicant(s) residents of the State of Maine? YES NO

7. List name, date of birth, and place of birth for all applicants, managers, and bar managers. Give maiden name, if married:
Use a separate sheet of paper if necessary.

| Name in Full (Print Clearly) | DOB | Place of Birth |
|---|-------------------|----------------|
| Cape Arundel Inn, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Portsmouth, NH |
| EOS Regional Resorts Inc. | | |
| Residence address on all of the above for previous 5 years (Limit answer to city & state) | | |
| Justin Grimes | Kennebunkport, ME | |
| EOS Regional Resorts | New York, NY | |

8. Has/have applicant(s) or manager ever been convicted of any violation of the law, other than minor traffic violations, of any State of the United States? YES NO

Name: _____ Date of Conviction: _____
 Offense: _____ Location: _____
 Disposition: _____

9. Will any law enforcement official benefit financially either directly or indirectly in your license, if issued?
 Yes No If Yes, give name: _____

10. Has/have applicant(s) formerly held a Maine liquor license? YES NO

11. Does/do applicant(s) own the premises? Yes No If No give name and address of owner: _____

12. Does/do applicant(s) have all the necessary permits required by the State Department of Human Services?
 YES NO Applied for: _____

13. What is the distance from the premises to the NEAREST school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel? 2.10M Which of the above is nearest? church

14. Have you received any assistance financially or otherwise (including any mortgages) from any source other than yourself in the establishment of your business? YES NO

If YES, give details: mortgage

The Division of Liquor Licensing & Enforcement is hereby authorized to obtain and examine all books, records and tax returns pertaining to the business, for which this liquor license is requested, and also such books, records and returns during the year in which any liquor license is in effect.

NOTE: "I understand that false statements made on this form are punishable by law. Knowingly supplying false information on this form is a Class D offense under the Criminal Code, punishable by confinement of up to one year or by monetary fine of up to \$2,000 or both."

Dated at: _____ on _____, 20____
Town/City, State Date

Alyssa Smith
 Signature of Applicant or Corporate Officer(s)
Alyssa Smith
 Print Name

Please sign in blue ink

 Signature of Applicant or Corporate Officer(s)

 Print Name

STATE OF MAINE

Dated at: _____, Maine _____
City/Town (County)

On: _____
Date

The undersigned being: Municipal Officers County Commissioners of the
 City Town Plantation Unincorporated Place of: _____, Maine

Hereby certify that we have given public notice on this application and held public hearing thereon as required by Section 653 Title 28A, Maine Revised Statutes and herby approve said application.

THIS APPROVAL EXPIRES IN 60 DAYS

§653. Hearings; bureau review; appeal

1. **Hearings.** The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms. [1993, c. 730, §27 (AMD).]

B. The municipal officers or the county commissioners, as the case may be, shall provide public notice of any hearing held under this section by causing a notice, at the applicant's prepaid expense, stating the name and place of hearing, to appear on at least 3 consecutive days before the date of hearing in a daily newspaper having general circulation in the municipality where the premises are located or one week before the date of the hearing in a weekly newspaper having general circulation in the municipality where the premises are located. [1995, c. 140, §4 (AMD).]

C. If the municipal officers or the county commissioners, as the case may be, fail to take final action on an application for a new on-premises license or transfer of the location of an existing on-premises license within 60 days of the filing of an application, the application is deemed approved and ready for action by the bureau. For purposes of this paragraph, the date of filing of the application is the date the application is received by the municipal officers or county commissioners. This paragraph applies to all applications pending before municipal officers or county commissioners as of the effective date of this paragraph as well as all applications filed on or after the effective date of this paragraph. This paragraph applies to an existing on-premises license that has been extended pending renewal. The municipal officers or the county commissioners shall take final action on an on-premises license that has been extended pending renewal within 120 days of the filing of the application. [2003, c. 213, §1 (AMD).]

D. If an application is approved by the municipal officers or the county commissioners but the bureau finds, after inspection of the premises and the records of the applicant, that the applicant does not qualify for the class of license applied for, the bureau shall notify the applicant of that fact in writing. The bureau shall give the applicant 30 days to file an amended application for the appropriate class of license, accompanied by any additional license fee, with the municipal officers or county commissioners, as the case may be. If the applicant fails to file an amended application within 30 days, the original application must be denied by the bureau. The bureau shall notify the applicant in writing of its decision to deny the application including the reasons for the denial and the rights of appeal of the applicant. [1995, c. 140, §5 (NEW).] [2003, c. 213, §1 (AMD) .]

2. **Findings.** In granting or denying an application, the municipal officers or the county commissioners shall indicate the reasons for their decision and provide a copy to the applicant. A license may be denied on one or more of the following grounds:

A. Conviction of the applicant of any Class A, Class B or Class C crime; [1987, c. 45, Pt. A, §4 (NEW).]

B. Noncompliance of the licensed premises or its use with any local zoning ordinance or other land use ordinance not directly related to liquor control; [1987, c. 45, Pt. A, §4 (NEW).]

C. Conditions of record such as waste disposal violations, health or safety violations or repeated parking or traffic violations on or in the vicinity of the licensed premises and caused by persons patronizing or employed by the licensed premises or other such conditions caused by persons patronizing or employed by the licensed premises that unreasonably disturb, interfere with or affect the ability of persons or businesses residing or located in the vicinity of the licensed premises to use their property in a reasonable manner; [1993, c. 730, §27 (AMD).]

D. Repeated incidents of record of breaches of the peace, disorderly conduct, vandalism or other violations of law on or in the vicinity of the licensed premises and caused by persons patronizing or employed by the licensed premises; [1989, c. 592, §3 (AMD).]

E. A violation of any provision of this Title; [2009, c. 81, §1 (AMD).]

F. A determination by the municipal officers or county commissioners that the purpose of the application is to circumvent the provisions of section 601; and [2009, c. 81, §2 (AMD).]

G. After September 1, 2010, server training, in a program certified by the bureau and required by local ordinance, has not been completed by individuals who serve alcoholic beverages. [2009, c. 81, §3 (NEW).]

[2009, c. 81, §§1-3 (AMD) .]

3. Appeal to bureau. Any applicant aggrieved by the decision of the municipal officers or county commissioners under this section may appeal to the bureau within 15 days of the receipt of the written decision of the municipal officers or county commissioners. The bureau shall hold a public hearing in the city, town or unincorporated place where the premises are situated. In acting on such an appeal, the bureau may consider all licensure requirements and findings referred to in subsection 2.

A. [1993, c. 730, §27 (RP).]

B. If the decision appealed from is an application denial, the bureau may issue the license only if it finds by clear and convincing evidence that the decision was without justifiable cause. [1993, c. 730, §27 (AMD).] [1995, c. 140, §6 (AMD) .]

4. No license to person who moved to obtain a license. [1987, c. 342, §32 (RP) .]

5. Appeal to District Court. Any person or governmental entity aggrieved by a bureau decision under this section may appeal the decision to the District Court within 30 days of receipt of the written decision of the bureau.

An applicant who files an appeal or who has an appeal pending shall pay the annual license fee the applicant would otherwise pay. Upon resolution of the appeal, if an applicant's license renewal is denied, the bureau shall refund the applicant the prorated amount of the unused license fee. [1995, c. 140, §7 (AMD); 1999, c. 547, Pt. B, §78 (AMD); 1999, c. 547, Pt. B, §80 (AFF) .]

All fees must accompany application, made payable to: Treasurer, State of Maine

Payments by check subject to penalty provided by Sec. 3-B, Title 28A, MRS

Please mail to:

Bureau of Alcoholic Beverages & Lottery Operations

Liquor Licensing & Enforcement

8 State House Station, Augusta, ME 04333-0008 (Regular address)

10 Water Street, Hallowell, ME 04347 (Overnight mail)

Email inquiries: MaineLiquor@Maine.gov

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Linemell dr Ste 203 Kennebunk, ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| see attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|---|-----------|----------------|
| The Boathouse at Kennebunkport, LLC (applicant) | | |
| Justin Grimes | 5/07/1987 | Portsmouth, NH |
| EOS Regional Resorts Holdings Co | | |

| Residence address on all the above for previous 5 years | |
|---|----------------------------|
| Name: Justin Grimes | Address: Kennebunkport, ME |
| Name: EOS Regional Resorts | Address: New York, NY |
| Name: | Address: |
| Name: | Address: |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 25

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: South Congregational Church

Distance: 0.20 m

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4-5-2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

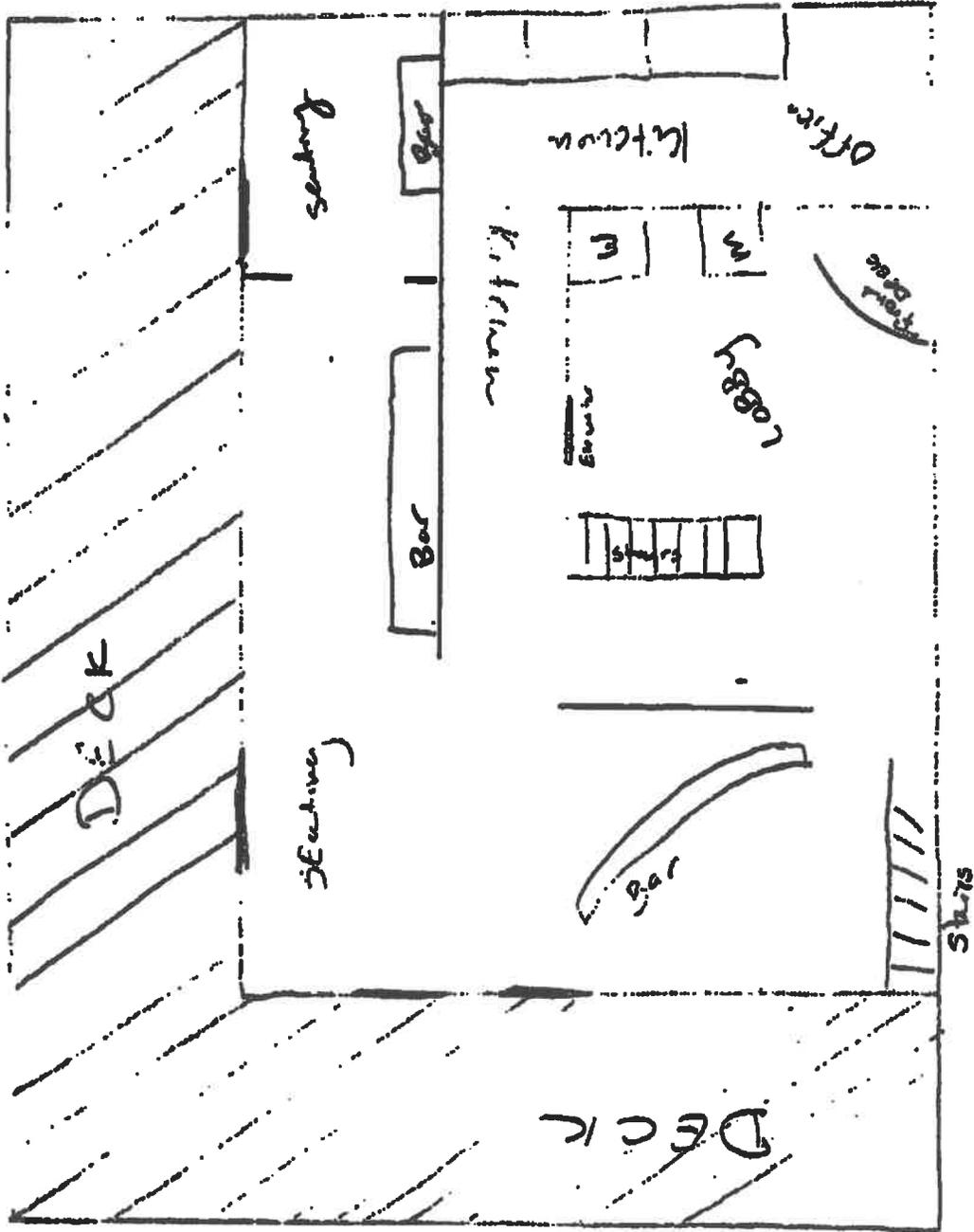
This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

§653. Hearings; bureau review; appeal

1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.



The Beach House Hotel + Marina Floor Plan

Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: The Boathouse at Kennebunkport, LLC
2. Doing Business As, if any: The Boathouse Hotel
3. Date of filing with Secretary of State: 02/20/2003 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|----------------------|-------------------|---------------|-----------|-------------------------|
| EOS Regional Resorts | | | Member | 100 |
| Justin Grimes | Kennebunkport, ME | 05/07/1987 | Mng. Dir. | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Livewell dr ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| See attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|---|-------------------|----------------|
| WV One, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Portsmouth, NH |
| Eos Regional Resorts Holdings | | |
| Residence address on all the above for previous 5 years | | |
| Name | Address: | |
| Justin Grimes | Kennebunkport, ME | |
| Name | Address: | |
| Eos Regional Resorts Holdings | New York, NY | |
| Name | Address: | |
| Name | Address: | |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 15

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: St Ann's by the sea Episcopal church

Distance: 0.30 m

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

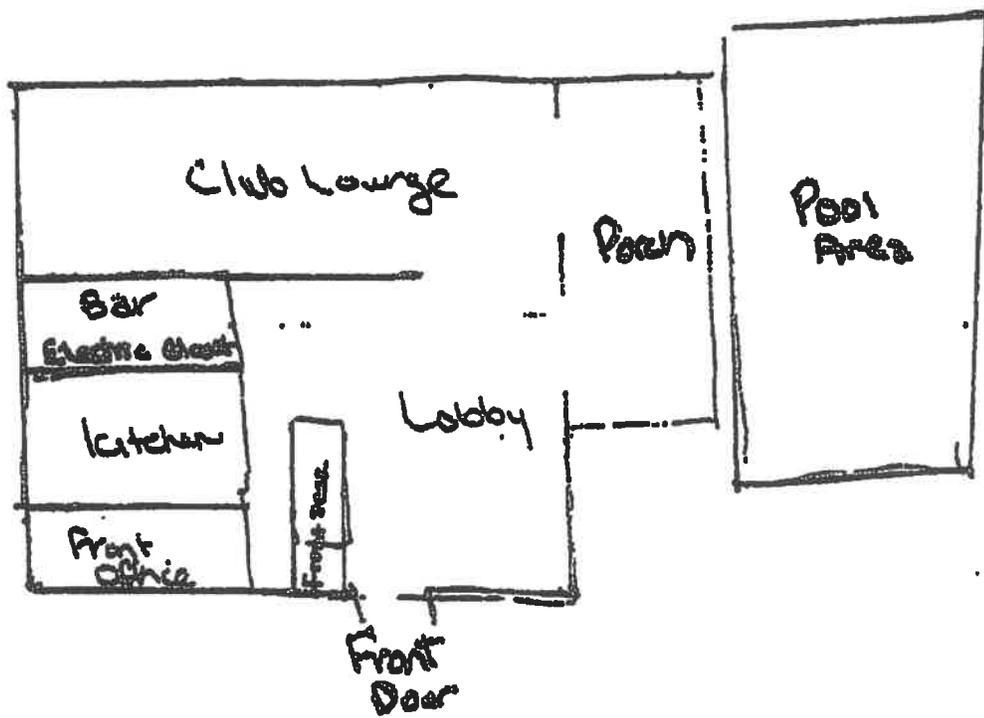
§653. Hearings; bureau review; appeal

1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.

PREMISE DIAGRAM

Old Fort Inn



Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Ivy One, LLC
2. Doing Business As, if any: The Clubhouse at Cape Ann Hotel Inn
3. Date of filing with Secretary of State: 07/16/2010 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|------------------------------|-------------------|---------------|-------------------|-------------------------|
| EOS Regional Resorts Holding | | | Member | 100 |
| Justin Grimes | Kennebunkport, ME | 5/07/1987 | Managing Director | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Livewell dr ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| see attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|----------------------------------|------------|----------------|
| Hidden Pond, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Portsmouth, NH |
| EOS Regional Resorts Holding Co. | | |

| Residence address on all the above for previous 5 years | |
|---|----------------------------|
| Name: Justin Grimes | Address: Kennebunkport, ME |
| Name: EOS Regional Resorts Holding Co. | Address: New York, NY |
| Name: | Address: |
| Name: | Address: |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 50

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: Saint Phillips by the sea Episcopal Chapel

Distance: 3.60 m

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

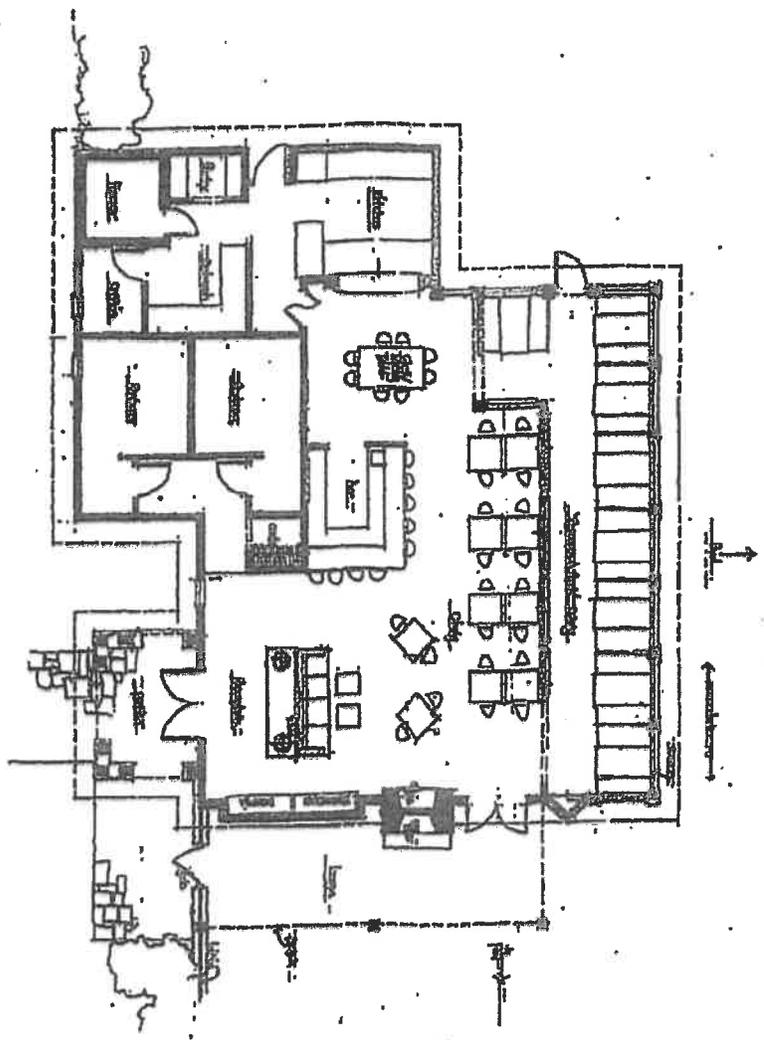
Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

§653. Hearings; bureau review; appeal

1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

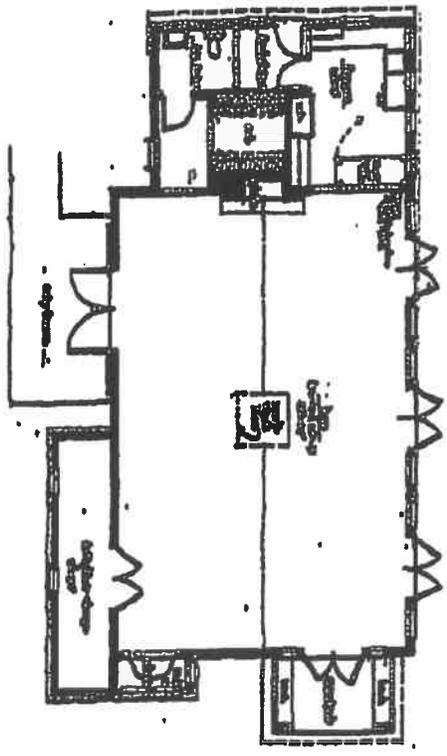
A. The bureau shall prepare and supply application forms.

Earth
Restaurant



| | |
|-----------|------------------|
| DATE | 1/1/1980 |
| BY | J. J. J. |
| PROJECT | Earth Restaurant |
| SCALE | 1/4" = 1'-0" |
| NO. | 1 |
| REVISIONS | |
| 1 | REVISED |
| 2 | REVISED |
| 3 | REVISED |
| 4 | REVISED |
| 5 | REVISED |
| 6 | REVISED |
| 7 | REVISED |
| 8 | REVISED |
| 9 | REVISED |
| 10 | REVISED |

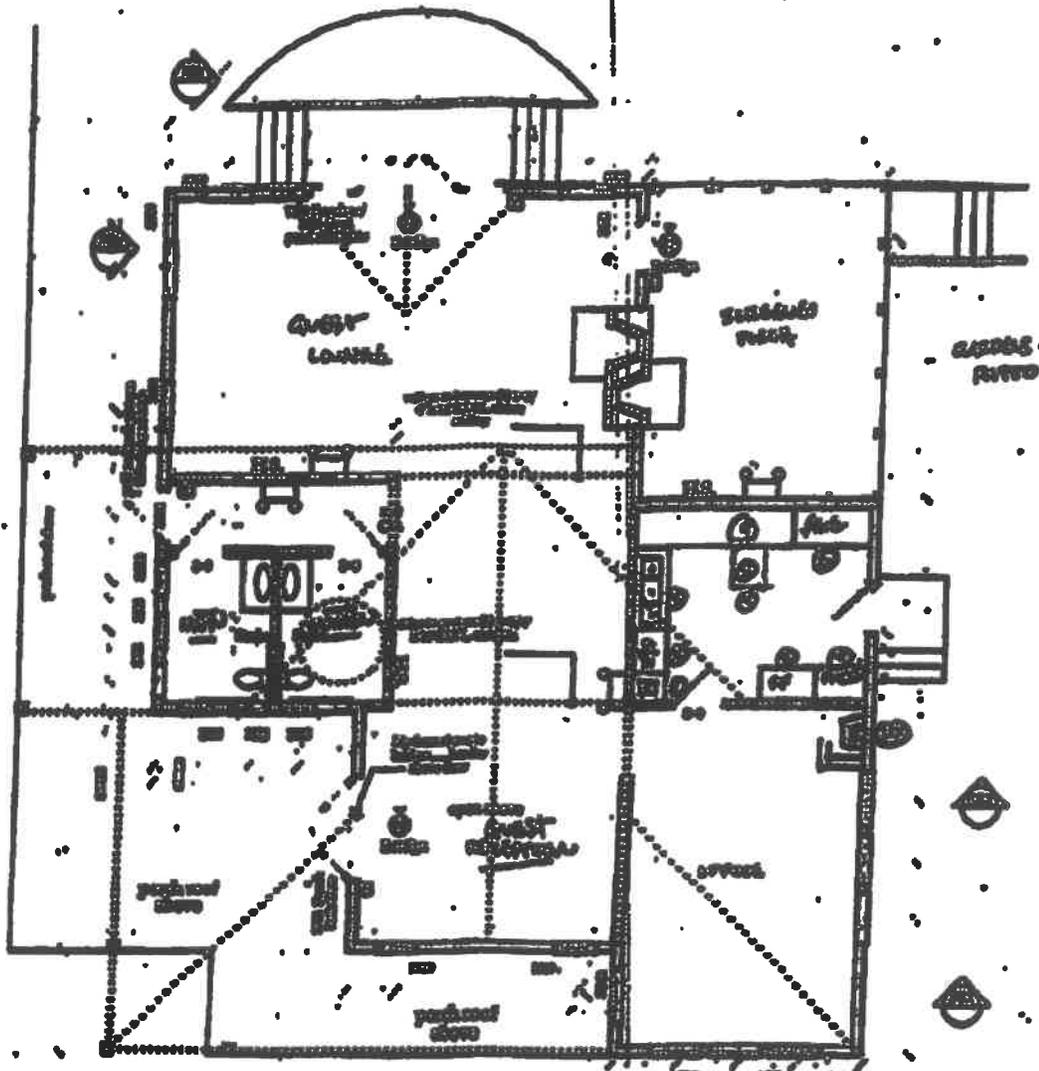
Finch
2004



Staircase

| | | |
|----|-------------|-----------|
| 1 | Living Room | 12' x 14' |
| 2 | Bedroom | 10' x 12' |
| 3 | Bathroom | 5' x 7' |
| 4 | Kitchen | 8' x 10' |
| 5 | Hallway | 3' x 4' |
| 6 | Staircase | 4' x 6' |
| 7 | Entry | 3' x 4' |
| 8 | Front Porch | 6' x 8' |
| 9 | Back Porch | 4' x 6' |
| 10 | Garage | 12' x 14' |

Clubhouse



- ① WASH SINK
- ② WASH/TOILET
- ③ S. W. SINK
- ④ SINK/WASH
- ⑤ SINK/WASH
- ⑥ SINK/WASH
- ⑦ SINK/WASH
- ⑧ SINK/WASH
- ⑨ SINK/WASH
- ⑩ SINK/WASH
- ⑪ SINK/WASH
- ⑫ SINK/WASH
- ⑬ SINK/WASH
- ⑭ SINK/WASH
- ⑮ SINK/WASH
- ⑯ SINK/WASH
- ⑰ SINK/WASH
- ⑱ SINK/WASH
- ⑲ SINK/WASH
- ⑳ SINK/WASH
- ㉑ SINK/WASH
- ㉒ SINK/WASH
- ㉓ SINK/WASH
- ㉔ SINK/WASH
- ㉕ SINK/WASH
- ㉖ SINK/WASH
- ㉗ SINK/WASH
- ㉘ SINK/WASH
- ㉙ SINK/WASH
- ㉚ SINK/WASH
- ㉛ SINK/WASH
- ㉜ SINK/WASH
- ㉝ SINK/WASH
- ㉞ SINK/WASH
- ㉟ SINK/WASH
- ㊱ SINK/WASH
- ㊲ SINK/WASH
- ㊳ SINK/WASH
- ㊴ SINK/WASH
- ㊵ SINK/WASH
- ㊶ SINK/WASH
- ㊷ SINK/WASH
- ㊸ SINK/WASH
- ㊹ SINK/WASH
- ㊺ SINK/WASH
- ㊻ SINK/WASH
- ㊼ SINK/WASH
- ㊽ SINK/WASH
- ㊾ SINK/WASH
- ㊿ SINK/WASH

English
Clubhouse

Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Hidden Pond, LLC
2. Doing Business As, if any: Hidden Pond
3. Date of filing with Secretary of State: 02/01/2007 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|----------------------|-------------------|---------------|-------------------|-------------------------|
| Eos Regional Resorts | | | Member | 100 |
| Justin Grimes | Venueport ME | 05/07/1987 | managing director | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

Bureau of Alcoholic Beverages & Lottery Operations
 Liquor Licensing & Enforcement Division
 8 State House Station,
 Augusta, ME 04333-0008
 Phone: (207) 624-7220
 Fax: (207) 287-3434
 Email inquiries: MaineLiquor@Maine.gov



| | |
|-------------------|-----|
| DIVISION USE ONLY | |
| License No: | |
| Class: | By: |
| Deposit Date: | |
| Amt. Deposited: | |
| Cash Ck Mo: | |

Hotel Mini-bar Application

PRESENT LICENSE EXPIRES: 5/12/2024

Fee Schedule

Hotels with a current Liquor License.....\$100.00

Number of Mini-bars requested 46 X \$5.00 @ Mini-bar = 230 (not to exceed \$900.00)

Hotels without a Liquor License.....\$200.00

Number of Mini-bars requested _____ X \$10.00 @ Mini-bar = _____

Filing Fee.....\$10.00

ALL QUESTIONS MUST BE ANSWERED IN FULL

| | | | |
|---|---------------------|---|-------------------|
| Corporation Name: <u>Hidden Pond, LLC</u> | | Business Name (D/B/A) <u>Hidden Pond</u> | |
| APPLICANT(S) –(Sole Proprietor) DOB: | | Physical Location: <u>354 Goose Rock rd</u> | |
| DOB: | | City/Town | State |
| Address | | <u>Kennebunkport</u> | <u>ME</u> |
| City/Town | | State | Zip Code |
| <u>2 Livewell dr ste 203</u> | | <u>ME</u> | <u>04046</u> |
| City/Town | | State | Zip Code |
| <u>Kennebunkport</u> | | <u>ME</u> | <u>04043</u> |
| Telephone Number | Fax Number | Business Telephone Number | Fax Number |
| <u>207-967-1519</u> | <u>207-967-1514</u> | <u>207-967-9050</u> | |
| Federal I.D. # <u>26-0629869</u> | | Seller Certificate #: or Sales Tax #: <u>1131323</u> | |
| Email Address: Please Print <u>licenses@krcmaine.com</u> | | Website: <u>www.hiddenpondmaine.com</u> | |

1. Is applicant a corporation, limited liability company or limited partnership? YES NO

If Yes, please complete Corporate Information Required for Business Entities who are licensees.

2. If manager is to be employed, give name: Justin Grimes

3. If business is NEW or under new ownership, indicate starting date: _____

Requested inspection date: _____ Business hours: _____

4. Business records are located at: 2 Livewell dr ste 203 Kennebunk ME 04043

5. Is/are applicants(s) citizens of the United States? YES NO

6. Is/are applicant(s) residents of the State of Maine? YES NO

7. List name, date of birth, and place of birth for all applicants, managers, and bar managers. Give maiden name, if married:
Use a separate sheet of paper if necessary.

| Name in Full (Print Clearly) | DOB | Place of Birth |
|---|--------------------|----------------|
| Hidden Pond, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Dartmouth, NH |
| EOS Regional Resorts Holdings Co | | |
| Residence address on all of the above for previous 5 years (Limit answer to city & state) | | |
| Justin Grimes | Kennebunk port, ME | |
| EOS Regional Resorts | New York, NY | |

8. Has/have applicant(s) or manager ever been convicted of any violation of the law, other than minor traffic violations, of any State of the United States? YES NO

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

9. Will any law enforcement official benefit financially either directly or indirectly in your license, if issued?
Yes No If Yes, give name: _____

10. Has/have applicant(s) formerly held a Maine liquor license? YES NO

11. Does/do applicant(s) own the premises? Yes No If No give name and address of owner: _____

12. Does/do applicant(s) have all the necessary permits required by the State Department of Human Services?
YES NO Applied for: _____

13. What is the distance from the premises to the NEAREST school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel? 3.5m Which of the above is nearest? Saint philips by the sea chapel

14. Have you received any assistance financially or otherwise (including any mortgages) from any source other than yourself in the establishment of your business? YES NO

If YES, give details: mortgage

The Division of Liquor Licensing & Enforcement is hereby authorized to obtain and examine all books, records and tax returns pertaining to the business, for which this liquor license is requested, and also such books, records and returns during the year in which any liquor license is in effect.

NOTE: "I understand that false statements made on this form are punishable by law. Knowingly supplying false information on this form is a Class D offense under the Criminal Code, punishable by confinement of up to one year or by monetary fine of up to \$2,000 or both."

Dated at: _____ on _____, 20____
Town/City, State Date

Please sign in blue ink

Alyssa Smith
Signature of Applicant or Corporate Officer(s)

Signature of Applicant or Corporate Officer(s)

Alyssa Smith
Print Name

Print Name

STATE OF MAINE

Dated at: _____, Maine _____
City/Town (County)

On: _____
Date

The undersigned being: Municipal Officers County Commissioners of the
 City Town Plantation Unincorporated Place of: _____, Maine

Hereby certify that we have given public notice on this application and held public hearing thereon as required by Section 653 Title 28A, Maine Revised Statutes and hereby approve said application.

<https://us06web.zoom.us/j/88117341683>

THIS APPLICATION IS VALID FOR 60 DAYS

§653. Hearing; appeal

1. Hearings. The municipal officers or, in unincorporated places, the county commissioners of the county in which the unincorporated place is located shall hold a public hearing for the consideration of applications for new on-premises licenses and applications for renewal of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms. [1993, c. 730, §27 (AMD).]

B. The municipal officers or the county commissioners, as the case may be, shall provide public notice of any hearing held under this section by causing a notice, at the applicant's prepaid expense, stating the name and place of hearing, to appear on at least 3 consecutive days before the date of hearing in a daily newspaper having general circulation in the municipality where the premises are located or one week before the date of the hearing in a weekly newspaper having general circulation in the municipality where the premises are located. [1995, c. 140, §4 (AMD).]

C. If the municipal officers or the county commissioners, as the case may be, fail to take final action on an application for a new on-premises license or transfer of the location of an existing on-premises license within 60 days of the filing of an application, the application is deemed approved and ready for action by the bureau. For purposes of this paragraph, the date of filing of the application is the date the application is received by the municipal officers or county commissioners. This paragraph applies to all applications pending before municipal officers or county commissioners as of the effective date of this paragraph as well as all applications filed on or after the effective date of this paragraph. This paragraph applies to an existing on-premises license that has been extended pending renewal. The municipal officers or the county commissioners shall take final action on an on-premises license that has been extended pending renewal within 120 days of the filing of the application. [2003, c. 213, §1 (AMD).]

D. If an application is approved by the municipal officers or the county commissioners but the bureau finds, after inspection of the premises and the records of the applicant, that the applicant does not qualify for the class of license applied for, the bureau shall notify the applicant of that fact in writing. The bureau shall give the applicant 30 days to file an amended application for the appropriate class of license, accompanied by any additional license fee, with the municipal officers or county commissioners, as the case may be. If the applicant fails to file an amended application within 30 days, the original application must be denied by the bureau. The bureau shall notify the applicant in writing of its decision to deny the application including the reasons for the denial and the rights of appeal of the applicant. [1995, c. 140, §5 (NEW).] [2003, c. 213, §1 (AMD) .]

2. Findings. In granting or denying an application, the municipal officers or the county commissioners shall indicate the reasons for their decision and provide a copy to the applicant. A license may be denied on one or more of the following grounds:

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Linwell dr Ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| See attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|---|-------------------|----------------|
| Kennebunkport Inn, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Ritismouth, NH |
| EOS Regional Resorts Holding Co. | | |
| Residence address on all the above for previous 5 years | | |
| Name | Address: | |
| Justin Grimes | Kennebunkport, ME | |
| Name | Address: | |
| EOS Regional Resorts | New York, NY | |
| Name | Address: | |
| Name | Address: | |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 36

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: South Congregational Church UCC

Distance: 0.07 m.

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

§653. Hearings; bureau review; appeal

1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.

B. The municipal officers or the county commissioners, as the case may be, shall provide public notice of any hearing held under this section by causing a notice, at the applicant's prepaid expense, stating the name and place of hearing, to appear on at least 3 consecutive days before the date of hearing in a daily newspaper having general circulation in the municipality where the premises are located or one week before the date of the hearing in a weekly newspaper having general circulation in the municipality where the premises are located.

C. If the municipal officers or the county commissioners, as the case may be, fail to take final action on an application for a new on-premises license or transfer of the location of an existing on-premises license within 60 days of the filing of an application, the application is deemed approved and ready for action by the bureau. For purposes of this paragraph, the date of filing of the application is the date the application is received by the municipal officers or county commissioners. This paragraph applies to all applications pending before municipal officers or county commissioners as of the effective date of this paragraph as well as all applications filed on or after the effective date of this paragraph. This paragraph applies to an existing on-premises license that has been extended pending renewal. The municipal officers or the county commissioners shall take final action on an on-premises license that has been extended pending renewal within 120 days of the filing of the application.

D. If an application is approved by the municipal officers or the county commissioners but the bureau finds, after inspection of the premises and the records of the applicant, that the applicant does not qualify for the class of license applied for, the bureau shall notify the applicant of that fact in writing. The bureau shall give the applicant 30 days to file an amended application for the appropriate class of license, accompanied by any additional license fee, with the municipal officers or county commissioners, as the case may be. If the applicant fails to file an amended application within 30 days, the original application must be denied by the bureau. The bureau shall notify the applicant in writing of its decision to deny the application including the reasons for the denial and the rights of appeal of the applicant.

2. Findings. In granting or denying an application, the municipal officers or the county commissioners shall indicate the reasons for their decision and provide a copy to the applicant. A license may be denied on one or more of the following grounds:

A. Conviction of the applicant of any Class A, Class B or Class C crime;

B. Noncompliance of the licensed premises or its use with any local zoning ordinance or other land use ordinance not directly related to liquor control;

C. Conditions of record such as waste disposal violations, health or safety violations or repeated parking or traffic violations on or in the vicinity of the licensed premises and caused by persons patronizing or employed by the licensed premises or other such conditions caused by persons patronizing or employed by the licensed premises that unreasonably disturb, interfere with or affect the ability of persons or businesses residing or located in the vicinity of the licensed premises to use their property in a reasonable manner;

D. Repeated incidents of record of breaches of the peace, disorderly conduct, vandalism or other violations of law on or in the vicinity of the licensed premises and caused by persons patronizing or employed by the licensed premises;

D-1. Failure to obtain, or comply with the provisions of, a permit for music, dancing or entertainment required by a municipality or, in the case of an unincorporated place, the county commissioners;

E. A violation of any provision of this Title;

F. A determination by the municipal officers or county commissioners that the purpose of the application is to circumvent the provisions of section 601; and

G. After September 1, 2010, server training, in a program certified by the bureau and required by local ordinance, has not been completed by individuals who serve alcoholic beverages.

3. Appeal to bureau. Any applicant aggrieved by the decision of the municipal officers or county commissioners under this section may appeal to the bureau within 15 days of the receipt of the written decision of the municipal officers or county commissioners. The bureau shall hold a public hearing in the city, town or unincorporated place where the premises are situated. In acting on such an appeal, the bureau may consider all licensure requirements and findings referred to in subsection 2.

A. Repealed

B. If the decision appealed from is an application denial, the bureau may issue the license only if it finds by clear and convincing evidence that the decision was without justifiable cause.

4. Repealed

5. Appeal to District Court. Any person or governmental entity aggrieved by a bureau decision under this section may appeal the decision to the District Court within 30 days of receipt of the written decision of the bureau.

An applicant who files an appeal or who has an appeal pending shall pay the annual license fee the applicant would otherwise pay. Upon resolution of the appeal, if an applicant's license renewal is denied, the bureau shall refund the applicant the prorated amount of the unused license fee.

Section IV: Terms and Conditions of Licensure as an Establishment that sells liquor for on-premises consumption in Maine

- The licensee/applicant(s) agrees to be bound by and comply with the laws, rules and instructions promulgated by the Bureau.
- The licensee/applicant(s) agrees to maintain accurate records related to an on-premise license as required by the law, rules and instructions promulgated or issued by the Bureau if a license is issued as a result of this application.
 - The licensee/applicant(s) authorizes the Bureau to obtain and examine all books, records and tax returns pertaining to the business, for which this liquor license is requested, and also any books, records and returns during the year in which any liquor license is in effect.
- Any change in the licensee's/applicant's licensed premises as defined in this application must be approved by the Bureau in advance.
- All new applicants must apply to the Alcohol and Tobacco Tax and Trade Bureau (TTB) for its [Retail Beverage Alcohol Dealers](https://www.ttb.gov/nrc/retail-beverage-alcohol-dealers) permit. See the TTB's website at <https://www.ttb.gov/nrc/retail-beverage-alcohol-dealers> for more information.

Section V: Fee Schedule

Filing fee required. In addition to the license fees listed below, a filing fee of \$10.00 must be included with all applications.

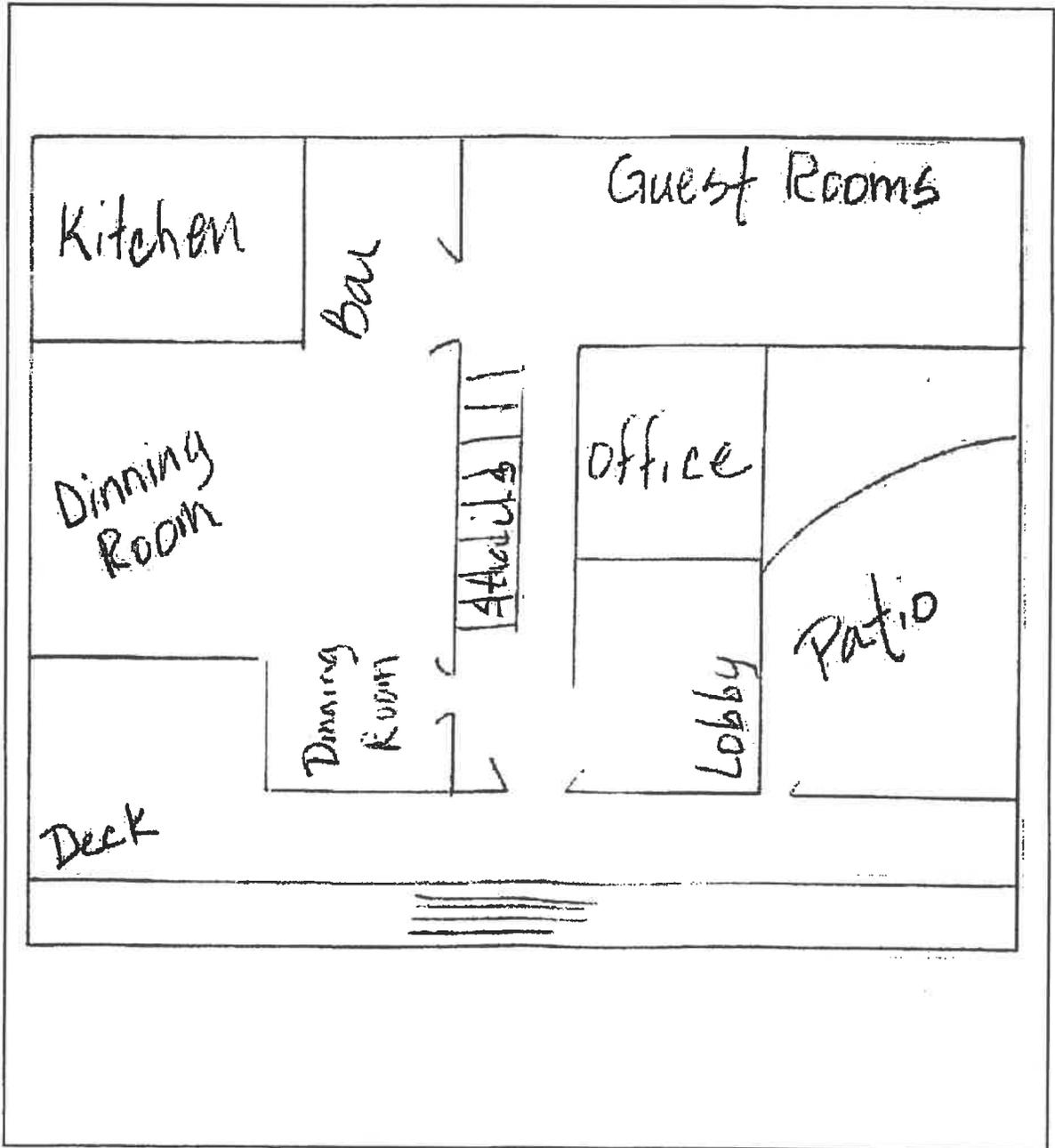
Please note: For Licensees/Applicants in unorganized territories in Maine, the \$10.00 filing fee must be paid directly to County Treasurer. All applications received by the Bureau from licensees/applicants in unorganized territories must submit proof of payment was made to the County Treasurer together with the application.

| Class of License | Type of liquor/Establishments included | Fee |
|-------------------------|--|------------|
| Class I | For the sale of liquor (malt liquor, wine and spirits) This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Vessels; Qualified Caterers | \$ 900.00 |
| Class I-A | For the sale of liquor (malt liquor, wine and spirits) This class includes only hotels that do not serve three meals a day. | \$1,100.00 |
| Class II | For the Sale of Spirits Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; and Vessels. | \$ 550.00 |
| Class III | For the Sale of Wine Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Restaurants; Vessels; Pool Halls; and Bed and Breakfasts. | \$ 220.00 |
| Class IV | For the Sale of Malt Liquor Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Restaurants; Taverns; Pool Halls; and Bed and Breakfasts. | \$ 220.00 |
| Class III and IV | For the Sale of Malt Liquor and Wine Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Restaurants; Vessels; Pool Halls; and Bed and Breakfasts. | \$ 440.00 |
| Class V | For the sale of liquor (malt liquor, wine and spirits) This class includes only a Club without catering privileges. | \$ 495.00 |
| Class X | For the sale of liquor (malt liquor, wine and spirits) This class includes only a Class A Lounge | \$2,200.00 |
| Class XI | For the sale of liquor (malt liquor, wine and spirits) This class includes only a Restaurant Lounge | \$1,500.00 |

Section VI Premises Floor Plan

In an effort to clearly define your license premise and the areas that consumption and storage of liquor authorized by your license type is allowed, the Bureau requires all applications to include a diagram of the premise to be licensed.

Diagrams should be submitted on this form and should be as accurate as possible. Be sure to label the following areas: entrances, office area, coolers, storage areas, display cases, shelves, restroom, point of sale area, area for on-premise consumption, dining rooms, event/function rooms, lounges, outside area/decks or any other areas on the premise that you are requesting approval. Attached an additional page as needed to fully describe the premise.



Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Kennebunkport Inn, LLC
2. Doing Business As, if any: The Kennebunkport Inn
3. Date of filing with Secretary of State: 12/13/2002 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|----------------------|-------------------|---------------|-------------------|-------------------------|
| EOS Regional Results | | | Member | 100 |
| Justin Grimes | Kennebunkport ME | 05/07/1987 | managing director | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)



STATE OF MAINE
DEPARTMENT OF ADMINISTRATIVE AND FINANCIAL SERVICES
BUREAU OF ALCOHOLIC BEVERAGES AND LOTTERY OPERATIONS
DIVISION OF LIQUOR LICENSING AND ENFORCEMENT

Application for an On-Premises License

All Questions Must Be Answered Completely. Please print legibly.

| Division Use Only | |
|--|-----|
| License No: | |
| Class: | By: |
| Deposit Date: | |
| Amt. Deposited: | |
| Payment Type: | |
| OK with SOS: Yes <input type="checkbox"/> No <input type="checkbox"/> | |

**Section I: Licensee/Applicant(s) Information;
Type of License and Status**

| | |
|---|--|
| Legal Business Entity Applicant Name (corporation, LLC): <u>Lodge on the Cone, LLC</u> | Business Name (D/B/A): <u>Lodge on the Cone</u> |
| Individual or Sole Proprietor Applicant Name(s): | Physical Location: <u>04046</u> <u>29 S. Main St. Kennebunkport ME</u> |
| Individual or Sole Proprietor Applicant Name(s): | Mailing address, if different: <u>04043</u> <u>2 Linewell dr Ste 203 Kennebunk ME</u> |
| Mailing address, if different from DBA address: | Email Address: <u>licenses@komaine.com</u> |
| Telephone # Fax #: <u>207-967-1519 207-967-1516</u> | Business Telephone # Fax #: <u>207-967-3993</u> |
| Federal Tax Identification Number: <u>45-3948403</u> | Maine Seller Certificate # or Sales Tax #: <u>115294</u> |
| Retail Beverage Alcohol Dealers Permit: | Website address: <u>www.lodgeonthecone.com</u> |

1. New license or renewal of existing license? New Expected Start date: _____

Renewal Expiration Date: 5/12/2024
2. The dollar amount of gross income for the licensure period that will end on the expiration date above:

Food: \$ 29,176.00 Beer, Wine or Spirits: \$ 23,730.00 Guest Rooms: \$ 975418.00
3. Please indicate the type of alcoholic beverage to be sold: (check all that apply)

Malt Liquor (beer) Wine Spirits

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input checked="" type="checkbox"/> Hotel (Class I, II, III, IV) | <input type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Livewell dr ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| See attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|------------------------------------|------------|----------------|
| Lodge on the Cove, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Dartmouth, NH |
| Eos Regional Resorts Holdings Co. | | |

| Residence address on all the above for previous 5 years | |
|---|----------------------------|
| Name: Justin Grimes | Address: Kennebunkport, ME |
| Name: Eos Regional Resorts | Address: New York, NY |
| Name: | Address: |
| Name: | Address: |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 31

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: Franciscan Monastery

Distance: 1.60 m

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

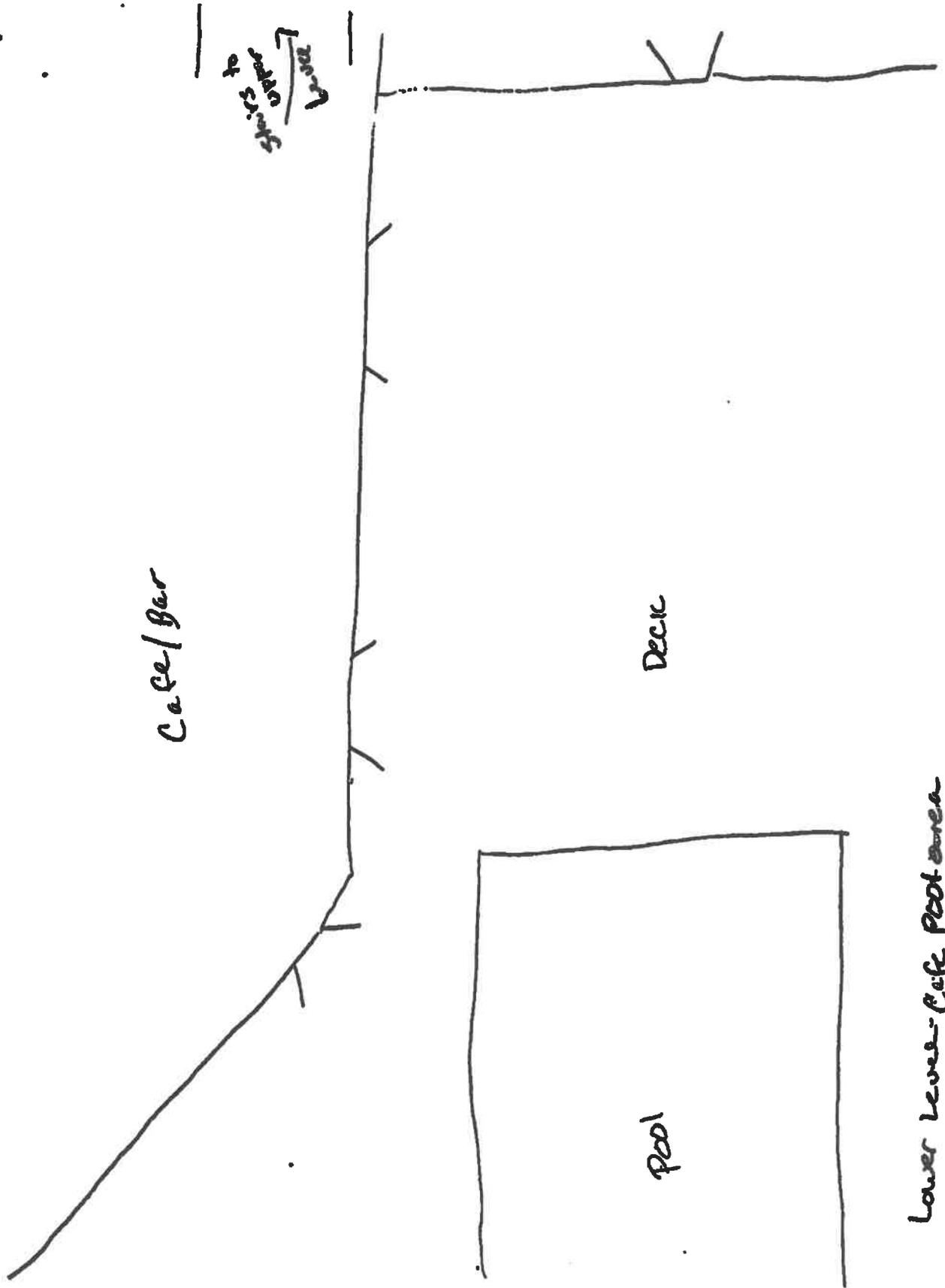
This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

§653. Hearings; bureau review; appeal

1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.



Cafe/Bar

Deck

Pool

Lower Level-Cafe Foot area

to stairs outside

Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Lodge on the Cone, LLC
2. Doing Business As, if any: Lodge on the Cone
3. Date of filing with Secretary of State: 08/01/2007 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|------------------------------|-------------------|---------------|---------------|-------------------------|
| EOS Regional Resort Holdings | | | Member | 100 |
| Justin Grimes | Kennebecport, ME | 05/07/1987 | managing dir. | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Livewell dr ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| see attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|--|------------|----------------|
| Yachtsman Hospitality, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Portsmouth, NH |
| EOS regional resorts holdings | | |

| Residence address on all the above for previous 5 years | |
|---|------------------------------------|
| Name Justin Grimes | Address: Kennebecville port, ME |
| Name EOS Regional resorts holdings | Address: New York, NY |
| Name | Address: |
| Name | Address: |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 30

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: Franciscan Monastery

Distance: 1.00 mi.

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

§653. Hearings; bureau review; appeal

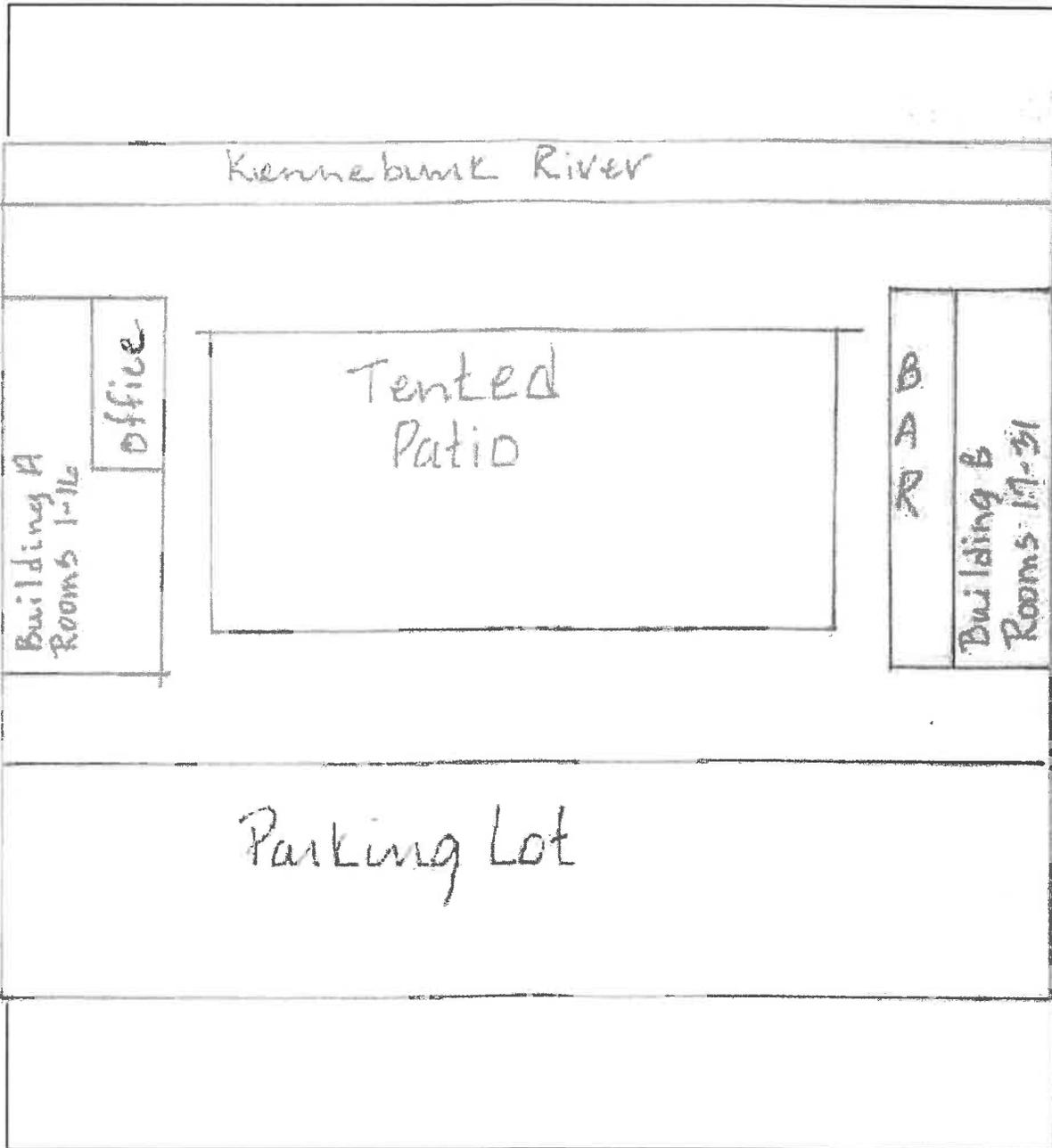
1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.

Section VI Premises Floor Plan

In an effort to clearly define your license premise and the areas that consumption and storage of liquor authorized by your license type is allowed, the Bureau requires all applications to include a diagram of the premise to be licensed.

Diagrams should be submitted on this form and should be as accurate as possible. Be sure to label the following areas: entrances, office area, coolers, storage areas, display cases, shelves, restroom, point of sale area, area for on-premise consumption, dining rooms, event/function rooms, lounges, outside area/decks or any other areas on the premise that you are requesting approval. Attached an additional page as needed to fully describe the premise.



Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Yachtsman Hospitality, LLC
2. Doing Business As, if any: Yachtsmen Hotel & Marina Club
3. Date of filing with Secretary of State: 07/20/2007 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|------------------------|-------------------|---------------|---------------|-------------------------|
| EOS Regional Resources | | | Member | 100 |
| Justin Grimes | Kennebunkport, ME | 5/07/1987 | managing dir. | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

Bureau of Alcoholic Beverages & Lottery Operations
 Liquor Licensing & Enforcement Division
 8 State House Station,
 Augusta, ME 04333-0008
 Phone: (207) 624-7220
 Fax: (207) 287-3434
 Email inquiries: MaineLiquor@Maine.gov



| | |
|-------------------|-----|
| DIVISION USE ONLY | |
| License No: | |
| Class: | By: |
| Deposit Date: | |
| Amt. Deposited: | |
| Cash Ck Mo: | |

Hotel Mini-bar Application

PRESENT LICENSE EXPIRES: 5/12/2024

Fee Schedule

Hotels with a current Liquor License.....\$100.00

Number of Mini-bars requested 30 X \$5.00 @ Mini-bar = 150 (not to exceed \$900.00)

Hotels without a Liquor License.....\$200.00

Number of Mini-bars requested _____ X \$10.00 @ Mini-bar = _____

Filing Fee.....\$10.00

ALL QUESTIONS MUST BE ANSWERED IN FULL

| | | | |
|---|---|---|--------------------|
| Corporation Name: <u>Yachtsman Hospitality, LLC</u> | | Business Name (D/B/A) <u>Yachtsman Hotel and Marina Club</u> | |
| APPLICANT(S) –(Sole Proprietor) DOB: | | Physical Location: <u>57 ocean ave</u> | |
| DOB: | | City/Town <u>Kennebunkport</u> | State <u>ME</u> |
| Address | | Zip Code <u>04046</u> | |
| Mailing Address | | Mailing Address <u>2 Livewell dr ste 203</u> | |
| City/Town | State | Zip Code | City/Town |
| | | | State |
| | | | Zip Code |
| Telephone Number <u>207-967-1519</u> | Fax Number <u>207-967-4516</u> | Business Telephone Number <u>207-967-2511</u> | Fax Number |
| Federal I.D. # <u>82-2988557</u> | Seller Certificate #: or Sales Tax #: <u>1190016</u> | | |
| Email Address: Please Print <u>licenses@krcmaine.com</u> | Website: <u>www.yachtsmanlodge.com</u> | | |

1. Is applicant a corporation, limited liability company or limited partnership? YES NO

If Yes, please complete Corporate Information Required for Business Entities who are licensees.

2. If manager is to be employed, give name: Justin Grimmer

3. If business is NEW or under new ownership, indicate starting date: _____

Requested inspection date: _____ Business hours: _____

4. Business records are located at: 2 Livewell drive ste 203 Kennebunk, ME 04043

5. Is/are applicants(s) citizens of the United States? YES NO

6. Is/are applicant(s) residents of the State of Maine? YES NO

7. List name, date of birth, and place of birth for all applicants, managers, and bar managers. Give maiden name, if married:
Use a separate sheet of paper if necessary.

| Name in Full (Print Clearly) | DOB | Place of Birth |
|---|-------------------|----------------|
| Yachtsman Hospitality, LLC (Applicant) | | |
| Justin Grimes | 5/07/1987 | Portsmouth, NH |
| EOS Regional Resorts Holdings | | |
| Residence address on all of the above for previous 5 years (Limit answer to city & state) | | |
| Justin Grimes | Kennebunkport, ME | |
| EOS Regional Resorts | New York, NY | |

8. Has/have applicant(s) or manager ever been convicted of any violation of the law, other than minor traffic violations, of any State of the United States? YES NO

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

9. Will any law enforcement official benefit financially either directly or indirectly in your license, if issued?

Yes No If Yes, give name: _____

10. Has/have applicant(s) formerly held a Maine liquor license? YES NO

11. Does/do applicant(s) own the premises? Yes No If No give name and address of owner: _____

12. Does/do applicant(s) have all the necessary permits required by the State Department of Human Services?

YES NO Applied for: _____

13. What is the distance from the premises to the NEAREST school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel? 0.4m Which of the above is nearest? USS Church

14. Have you received any assistance financially or otherwise (including any mortgages) from any source other than yourself in the establishment of your business? YES NO

If YES, give details: Mortgage

The Division of Liquor Licensing & Enforcement is hereby authorized to obtain and examine all books, records and tax returns pertaining to the business, for which this liquor license is requested, and also such books, records and returns during the year in which any liquor license is in effect.

NOTE: "I understand that false statements made on this form are punishable by law. Knowingly supplying false information on this form is a Class D offense under the Criminal Code, punishable by confinement of up to one year or by monetary fine of up to \$2,000 or both."

Dated at: _____ on _____, 20____
Town/City, State Date

Please sign in blue ink

Alyssa Smith
Signature of Applicant or Corporate Officer(s)

Signature of Applicant or Corporate Officer(s)

Alyssa Smith
Print Name

Print Name

STATE OF MAINE

Dated at: _____, Maine _____
City/Town (County)

On: _____
Date

The undersigned being: Municipal Officers County Commissioners of the
 City Town Plantation Unincorporated Place of: _____, Maine

Hereby certify that we have given public notice on this application and held public hearing thereon as required by Section 653 Title 28A, Maine Revised Statutes and herby approve said application.

THIS APPROVAL EXPIRES IN 60 DAYS

§653. Hearings; bureau review; appeal

1. **Hearings.** The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms. [1993, c. 730, §27 (AMD).]

B. The municipal officers or the county commissioners, as the case may be, shall provide public notice of any hearing held under this section by causing a notice, at the applicant's prepaid expense, stating the name and place of hearing, to appear on at least 3 consecutive days before the date of hearing in a daily newspaper having general circulation in the municipality where the premises are located or one week before the date of the hearing in a weekly newspaper having general circulation in the municipality where the premises are located. [1995, c. 140, §4 (AMD).]

C. If the municipal officers or the county commissioners, as the case may be, fail to take final action on an application for a new on-premises license or transfer of the location of an existing on-premises license within 60 days of the filing of an application, the application is deemed approved and ready for action by the bureau. For purposes of this paragraph, the date of filing of the application is the date the application is received by the municipal officers or county commissioners. This paragraph applies to all applications pending before municipal officers or county commissioners as of the effective date of this paragraph as well as all applications filed on or after the effective date of this paragraph. This paragraph applies to an existing on-premises license that has been extended pending renewal. The municipal officers or the county commissioners shall take final action on an on-premises license that has been extended pending renewal within 120 days of the filing of the application. [2003, c. 213, §1 (AMD).]

D. If an application is approved by the municipal officers or the county commissioners but the bureau finds, after inspection of the premises and the records of the applicant, that the applicant does not qualify for the class of license applied for, the bureau shall notify the applicant of that fact in writing. The bureau shall give the applicant 30 days to file an amended application for the appropriate class of license, accompanied by any additional license fee, with the municipal officers or county commissioners, as the case may be. If the applicant fails to file an amended application within 30 days, the original application must be denied by the bureau. The bureau shall notify the applicant in writing of its decision to deny the application including the reasons for the denial and the rights of appeal of the applicant. [1995, c. 140, §5 (NEW).] [2003, c. 213, §1 (AMD) .]

2. **Findings.** In granting or denying an application, the municipal officers or the county commissioners shall indicate the reasons for their decision and provide a copy to the applicant. A license may be denied on one or more of the following grounds:

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Livewell dr Ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| see attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|-----------------------------------|------------|----------------|
| Tides Beach Club, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Pittsmouth, NH |
| EOS Regional Resorts Holding Co. | | |

| Residence address on all the above for previous 5 years | |
|---|-------------------|
| Name | Address: |
| Justin Grimes | Kennebunkport, ME |
| EOS Regional Resorts | New York, NY |
| Name | Address: |
| Name | Address: |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|---------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 21

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: St. Phillips by the Sea Episcopal Chapel

Distance: 3.50 m

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

§653. Hearings; bureau review; appeal

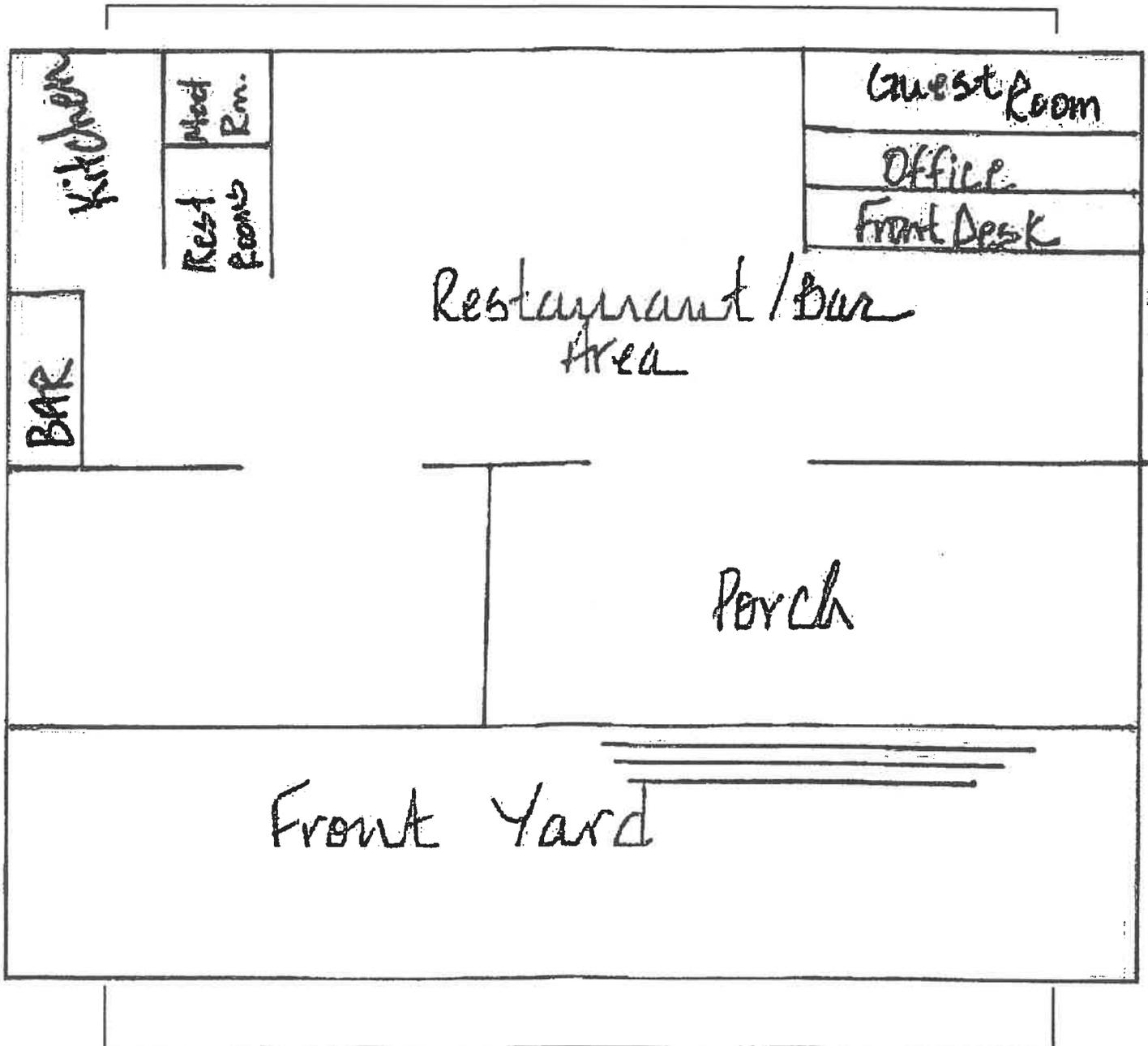
1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.

Section VI Premises Floor Plan

In an effort to clearly define your license premise and the areas that consumption and storage of liquor authorized by your license type is allowed, the Bureau requires all applications to include a diagram of the premise to be licensed.

Diagrams should be submitted on this form and should be as accurate as possible. Be sure to label the following areas: entrances, office area, coolers, storage areas, display cases, shelves, restroom, point of sale area, area for on-premise consumption, dining rooms, event/function rooms, lounges, outside area/decks or any other areas on the premise that you are requesting approval. Attached an additional page as needed to fully describe the premise.



Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Tides Beach Club, LLC
2. Doing Business As, if any: Tides Beach Club
3. Date of filing with Secretary of State: 09/10/2010 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|----------------------|-------------------|---------------|-------------------|-------------------------|
| EOS Regional Resorts | | | Member | 100 |
| Justin Grimes | Kennebunkport, ME | 05/01/1987 | Managing Director | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

4. Indicate the type of license applying for: (choose only one)

- | | | |
|--|--|---|
| <input type="checkbox"/> Restaurant (Class I, II, III, IV) | <input type="checkbox"/> Class A Restaurant/Lounge (Class XI) | <input type="checkbox"/> Class A Lounge (Class X) |
| <input type="checkbox"/> Hotel (Class I, II, III, IV) | <input checked="" type="checkbox"/> Hotel – Food Optional (Class I-A) | <input type="checkbox"/> Bed & Breakfast (Class V) |
| <input type="checkbox"/> Golf Course (included optional licenses, please check if apply) (Class I, II, III, IV) | <input type="checkbox"/> Auxiliary | <input type="checkbox"/> Mobile Cart |
| <input type="checkbox"/> Tavern (Class IV) | <input type="checkbox"/> Other: _____ | |
| <input type="checkbox"/> Qualified Caterer | <input type="checkbox"/> Self-Sponsored Events (Qualified Caterers Only) | |

Refer to Section V for the License Fee Schedule on page 9

5. Business records are located at the following address:

2 Livewell dr Ste 203 Kennebunk ME 04043

6. Is the licensee/applicant(s) citizens of the United States? Yes No

7. Is the licensee/applicant(s) a resident of the State of Maine? Yes No

NOTE: Applicants that are not citizens of the United States are required to file for the license as a business entity.

8. Is licensee/applicant(s) a business entity like a corporation or limited liability company?

Yes No If Yes, complete Section VII at the end of this application

9. For a licensee/applicant who is a business entity as noted in Section I, does any officer, director, member, manager, shareholder or partner have in any way an interest, directly or indirectly, in their capacity in any other business entity which is a holder of a wholesaler license granted by the State of Maine?

Yes No

Not applicable – licensee/applicant(s) is a sole proprietor

10. Is the licensee or applicant for a license receiving, directly or indirectly, any money, credit, thing of value, endorsement of commercial paper, guarantee of credit or financial assistance of any sort from any person or entity within or without the State, if the person or entity is engaged, directly or indirectly, in the manufacture, distribution, wholesale sale, storage or transportation of liquor.

Yes No

If yes, please provide details: _____

11. Do you own or have any interest in any another Maine Liquor License? Yes No

If yes, please list license number, business name, and complete physical location address: (attach additional pages as needed using the same format)

| Name of Business | License Number | Complete Physical Address |
|------------------|----------------|---------------------------|
| see attached | | |
| | | |

12. List name, date of birth, place of birth for all applicants including any manager(s) employed by the licensee/applicant. Provide maiden name, if married. (attach additional pages as needed using the same format)

| Full Name | DOB | Place of Birth |
|-----------------------------------|------------|----------------|
| Tides Beach Club, LLC (applicant) | | |
| Justin Grimes | 05/07/1987 | Pittsmouth, NH |
| EOS Regional Resorts Holding Co. | | |

| Residence address on all the above for previous 5 years | |
|---|-------------------------------|
| Name Justin Grimes | Address: Kennebunkport, ME |
| Name EOS Regional Resorts | Address: New York, NY |
| Name | Address: |
| Name | Address: |

KRC Property Info

| LLC Name | Property/Hotel Name (DBA) | Physical Address | Mailing/Billing Address | Liquor License # |
|--------------------------------|------------------------------|---|--|------------------|
| Cape Arundel Inn, LLC | Cape Arundel Inn | 208 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12389 |
| Hidden Pond, LLC | Hidden Pond | 354 Goose Rocks Rd, Kennebunkport, ME 04046 | | HOF-2020-12393 |
| Kennebunkport Inn LLC | Kennebunkport Inn | 1 Dock Square, Kennebunkport, ME 04046 | | HOF-2020-12394 |
| Lodge on The Cove LLC | Lodge On The Cove | 29 S. Main Street, Kennebunkport, ME 04046 | | HOT-2020-12387 |
| Ivy One LLC | The Clubhouse | 8 Old Fort Ave, Kennebunkport, ME 04046 | 2 Livewell Dr. Suite 203 Kennebunk, ME 04043 | HOF-2020-12390 |
| Tides Beach Club LLC | Tides Beach Club | 254 Kings Hwy, Kennebunkport, ME 04046 | | CAR-2020-12388 |
| Boathouse at Kennebunkport LLC | The Boathouse | 21 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12391 |
| The Grand Hotel & Suites | The Grand Hotel | 1 Chase Hill, Kennebunk, ME 04043 | | BB-2020-12386 |
| Yachtsman Hospitality LLC | Yachtsman | 57 Ocean Ave, Kennebunkport, ME 04046 | | HOF-2020-12385 |
| KBK Restaurant, LLC | Via Sophia by the Sea | 27 Western Ave, Kennebunk, ME 04043 | | CARL-2022-14330 |

13. Will any law enforcement officer directly benefit financially from this license, if issued?

Yes No

If Yes, provide name of law enforcement officer and department where employed:

14. Has the licensee/applicant(s) ever been convicted of any violation of the liquor laws in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

15. Has the licensee/applicant(s) ever been convicted of any violation of any law, other than minor traffic violations, in Maine or any State of the United States? Yes No

If Yes, please provide the following information and attach additional pages as needed using the same format.

Name: _____ Date of Conviction: _____

Offense: _____ Location: _____

Disposition: _____

16. Has the licensee/applicant(s) formerly held a Maine liquor license? Yes No

17. Does the licensee/applicant(s) own the premises? Yes No

If No, please provide the name and address of the owner:

18. If you are applying for a liquor license for a Hotel or Bed & Breakfast, please provide the number of guest rooms available: 21

19. Please describe in detail the area(s) within the premises to be licensed. This description is in addition to the diagram in Section VI. (Use additional pages as needed)

20. What is the distance from the premises to the **nearest** school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel?

Name: St. Phillips by the Sea Episcopal Chapel

Distance: 3.50 m

Section II: Signature of Applicant(s)

By signing this application, the licensee/applicant understands that false statements made on this application are punishable by law. Knowingly supplying false information on this application is a Class D Offense under Maine's Criminal Code, punishable by confinement of up to one year, or by monetary fine of up to \$2,000 or by both.

Please sign and date in blue ink.

Dated: 4/5/2024

Alyssa Smith
Signature of Duly Authorized Person

Signature of Duly Authorized Person

Alyssa Smith
Printed Name Duly Authorized Person

Printed Name of Duly Authorized Person

Section III: For use by Municipal Officers and County Commissioners only

The undersigned hereby certifies that we have complied with the process outlined in 28-A M.R.S. §653 and approve this on-premises liquor license application.

Dated: _____

Who is approving this application? Municipal Officers of _____

County Commissioners of _____ County

- Please Note:** The Municipal Officers or County Commissioners must confirm that the records of Local Option Votes have been verified that allows this type of establishment to be licensed by the Bureau for the type of alcohol to be sold for the appropriate days of the week. Please check this box to indicate this verification was completed.

| Signature of Officials | Printed Name and Title |
|------------------------|------------------------|
| | |
| | |
| | |
| | |
| | |

This Application will Expire 60 Days from the date of Municipal or County Approval unless submitted to the Bureau

Included below is the section of Maine’s liquor laws regarding the approval process by the municipalities or the county commissioners. This is provided as a courtesy only and may not reflect the law in effect at the time of application. Please see <http://www.mainelegislature.org/legis/statutes/28-A/title28-Asec653.html>

§653. Hearings; bureau review; appeal

1. Hearings. The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms.

B. The municipal officers or the county commissioners, as the case may be, shall provide public notice of any hearing held under this section by causing a notice, at the applicant's prepaid expense, stating the name and place of hearing, to appear on at least 3 consecutive days before the date of hearing in a daily newspaper having general circulation in the municipality where the premises are located or one week before the date of the hearing in a weekly newspaper having general circulation in the municipality where the premises are located.

C. If the municipal officers or the county commissioners, as the case may be, fail to take final action on an application for a new on-premises license or transfer of the location of an existing on-premises license within 60 days of the filing of an application, the application is deemed approved and ready for action by the bureau. For purposes of this paragraph, the date of filing of the application is the date the application is received by the municipal officers or county commissioners. This paragraph applies to all applications pending before municipal officers or county commissioners as of the effective date of this paragraph as well as all applications filed on or after the effective date of this paragraph. This paragraph applies to an existing on-premises license that has been extended pending renewal. The municipal officers or the county commissioners shall take final action on an on-premises license that has been extended pending renewal within 120 days of the filing of the application.

D. If an application is approved by the municipal officers or the county commissioners but the bureau finds, after inspection of the premises and the records of the applicant, that the applicant does not qualify for the class of license applied for, the bureau shall notify the applicant of that fact in writing. The bureau shall give the applicant 30 days to file an amended application for the appropriate class of license, accompanied by any additional license fee, with the municipal officers or county commissioners, as the case may be. If the applicant fails to file an amended application within 30 days, the original application must be denied by the bureau. The bureau shall notify the applicant in writing of its decision to deny the application including the reasons for the denial and the rights of appeal of the applicant.

2. Findings. In granting or denying an application, the municipal officers or the county commissioners shall indicate the reasons for their decision and provide a copy to the applicant. A license may be denied on one or more of the following grounds:

A. Conviction of the applicant of any Class A, Class B or Class C crime;

B. Noncompliance of the licensed premises or its use with any local zoning ordinance or other land use ordinance not directly related to liquor control;

C. Conditions of record such as waste disposal violations, health or safety violations or repeated parking or traffic violations on or in the vicinity of the licensed premises and caused by persons patronizing or employed by the licensed premises or other such conditions caused by persons patronizing or employed by the licensed premises that unreasonably disturb, interfere with or affect the ability of persons or businesses residing or located in the vicinity of the licensed premises to use their property in a reasonable manner;

D. Repeated incidents of record of breaches of the peace, disorderly conduct, vandalism or other violations of law on or in the vicinity of the licensed premises and caused by persons patronizing or employed by the licensed premises;

D-1. Failure to obtain, or comply with the provisions of, a permit for music, dancing or entertainment required by a municipality or, in the case of an unincorporated place, the county commissioners;

E. A violation of any provision of this Title;

F. A determination by the municipal officers or county commissioners that the purpose of the application is to circumvent the provisions of section 601; and

G. After September 1, 2010, server training, in a program certified by the bureau and required by local ordinance, has not been completed by individuals who serve alcoholic beverages.

3. Appeal to bureau. Any applicant aggrieved by the decision of the municipal officers or county commissioners under this section may appeal to the bureau within 15 days of the receipt of the written decision of the municipal officers or county commissioners. The bureau shall hold a public hearing in the city, town or unincorporated place where the premises are situated. In acting on such an appeal, the bureau may consider all licensure requirements and findings referred to in subsection 2.

A. Repealed

B. If the decision appealed from is an application denial, the bureau may issue the license only if it finds by clear and convincing evidence that the decision was without justifiable cause.

4. Repealed

5. Appeal to District Court. Any person or governmental entity aggrieved by a bureau decision under this section may appeal the decision to the District Court within 30 days of receipt of the written decision of the bureau.

An applicant who files an appeal or who has an appeal pending shall pay the annual license fee the applicant would otherwise pay. Upon resolution of the appeal, if an applicant's license renewal is denied, the bureau shall refund the applicant the prorated amount of the unused license fee.

Section IV: Terms and Conditions of Licensure as an Establishment that sells liquor for on-premises consumption in Maine

- The licensee/applicant(s) agrees to be bound by and comply with the laws, rules and instructions promulgated by the Bureau.
- The licensee/applicant(s) agrees to maintain accurate records related to an on-premise license as required by the law, rules and instructions promulgated or issued by the Bureau if a license is issued as a result of this application.
 - The licensee/applicant(s) authorizes the Bureau to obtain and examine all books, records and tax returns pertaining to the business, for which this liquor license is requested, and also any books, records and returns during the year in which any liquor license is in effect.
- Any change in the licensee's/applicant's licensed premises as defined in this application must be approved by the Bureau in advance.
- All new applicants must apply to the Alcohol and Tobacco Tax and Trade Bureau (TTB) for its [Retail Beverage Alcohol Dealers](#) permit. See the TTB's website at <https://www.ttb.gov/nrc/retail-beverage-alcohol-dealers> for more information.

Section V: Fee Schedule

Filing fee required. In addition to the license fees listed below, a filing fee of \$10.00 must be included with all applications.

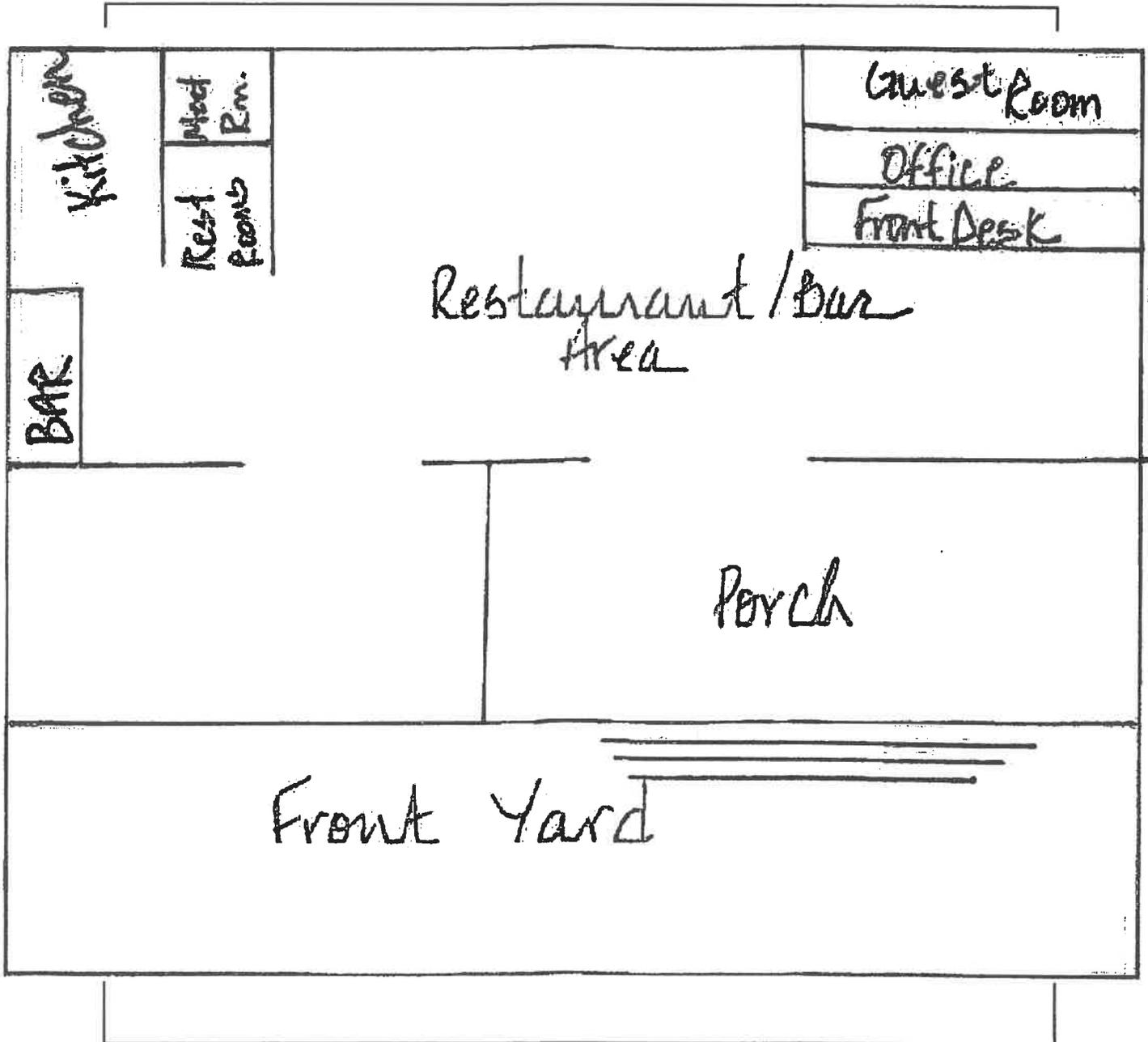
Please note: For Licensees/Applicants in unorganized territories in Maine, the \$10.00 filing fee must be paid directly to County Treasurer. All applications received by the Bureau from licensees/applicants in unorganized territories must submit proof of payment was made to the County Treasurer together with the application.

| Class of License | Type of liquor/Establishments included | Fee |
|-------------------------|--|------------|
| Class I | For the sale of liquor (malt liquor, wine and spirits) This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Vessels; Qualified Caterers | \$ 900.00 |
| Class I-A | For the sale of liquor (malt liquor, wine and spirits) This class includes only hotels that do not serve three meals a day. | \$1,100.00 |
| Class II | For the Sale of Spirits Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; and Vessels. | \$ 550.00 |
| Class III | For the Sale of Wine Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Restaurants; Vessels; Pool Halls; and Bed and Breakfasts. | \$ 220.00 |
| Class IV | For the Sale of Malt Liquor Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Restaurants; Taverns; Pool Halls; and Bed and Breakfasts. | \$ 220.00 |
| Class III and IV | For the Sale of Malt Liquor and Wine Only This class includes: Airlines; Civic Auditoriums; Class A Restaurants; Clubs with catering privileges; Dining Cars; Golf Courses; Hotels; Indoor Ice-Skating Clubs; Indoor Tennis Clubs; Restaurants; Vessels; Pool Halls; and Bed and Breakfasts. | \$ 440.00 |
| Class V | For the sale of liquor (malt liquor, wine and spirits) This class includes only a Club without catering privileges. | \$ 495.00 |
| Class X | For the sale of liquor (malt liquor, wine and spirits) This class includes only a Class A Lounge | \$2,200.00 |
| Class XI | For the sale of liquor (malt liquor, wine and spirits) This class includes only a Restaurant Lounge | \$1,500.00 |

Section VI Premises Floor Plan

In an effort to clearly define your license premise and the areas that consumption and storage of liquor authorized by your license type is allowed, the Bureau requires all applications to include a diagram of the premise to be licensed.

Diagrams should be submitted on this form and should be as accurate as possible. Be sure to label the following areas: entrances, office area, coolers, storage areas, display cases, shelves, restroom, point of sale area, area for on-premise consumption, dining rooms, event/function rooms, lounges, outside area/decks or any other areas on the premise that you are requesting approval. Attached an additional page as needed to fully describe the premise.



Section VII: Required Additional Information for a Licensee/Applicant for an On-Premises Liquor License Who are Legal Business Entities

Questions 1 to 4 of this part of the application must match information in Section I of the application above and match the information on file with the Maine Secretary of State's office. If you have questions regarding your legal entity name or DBA, please call the Secretary of State's office at (207) 624-7752.

All Questions Must Be Answered Completely. Please print legibly.

1. Exact legal name: Tides Beach Club, LLC
2. Doing Business As, if any: Tides Beach Club
3. Date of filing with Secretary of State: 09/10/2010 State in which you are formed: ME
4. If not a Maine business entity, date on which you were authorized to transact business in the State of Maine:

5. List the name and addresses for previous 5 years, birth dates, titles of officers, directors, managers, members or partners and the percentage ownership any person listed: (attached additional pages as needed)

| Name | Address (5 Years) | Date of Birth | Title | Percentage of Ownership |
|----------------------|-------------------|---------------|-------------------|-------------------------|
| EOS Regional Resorts | | | Member | 100 |
| Justin Grimes | Kennebunkport, ME | 05/01/1987 | Managing Director | 0 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

(Ownership in non-publicly traded companies must add up to 100%.)

Bureau of Alcoholic Beverages & Lottery Operations
 Liquor Licensing & Enforcement Division
 8 State House Station,
 Augusta, ME 04333-0008
 Phone: (207) 624-7220
 Fax: (207) 287-3434
 Email inquiries: MaineLiquor@Maine.gov



| | |
|-------------------|-----|
| DIVISION USE ONLY | |
| License No: | |
| Class: | By: |
| Deposit Date: | |
| Amt. Deposited: | |
| Cash Ck Mo: | |

Hotel Mini-bar Application

PRESENT LICENSE EXPIRES: 5/12/2024

Fee Schedule

Hotels with a current Liquor License.....\$100.00

Number of Mini-bars requested 21 X \$5.00 @ Mini-bar = 105 (not to exceed \$900.00)

Hotels without a Liquor License.....\$200.00

Number of Mini-bars requested _____ X \$10.00 @ Mini-bar = _____

Filing Fee.....\$10.00

ALL QUESTIONS MUST BE ANSWERED IN FULL

| | | | |
|---|-----------------------|---|-------------------|
| Corporation Name: <u>Tides Beach Club, LLC</u> | | Business Name (D/B/A) <u>Tides Beach Club</u> | |
| APPLICANT(S) –(Sole Proprietor) DOB: | | Physical Location: <u>930 Kings Hwy.</u> | |
| DOB: | | City/Town | State |
| Address | | <u>Kennebunkport</u> | <u>ME</u> |
| City/Town | | State | Zip Code |
| <u>2 Livewell dr. Ste 203</u> | | <u>ME</u> | <u>04046</u> |
| Telephone Number | | Business Telephone Number | |
| <u>207-967-1519</u> | Fax Number | <u>207-967-8223</u> | Fax Number |
| <u>27-3545942</u> | Federal I.D. # | Seller Certificate #: | |
| Email Address: Please Print <u>licenses@kcremaine.com</u> | <u>27-3545942</u> | or Sales Tax #: <u>1148420</u> | |
| Website: <u>www.tidesbeachclubmaine.com</u> | | | |

1. Is applicant a corporation, limited liability company or limited partnership? YES NO

If Yes, please complete Corporate Information Required for Business Entities who are licensees.

2. If manager is to be employed, give name: Justin Grimmer

3. If business is NEW or under new ownership, indicate starting date: _____

Requested inspection date: _____ Business hours: _____

4. Business records are located at: 2 Livewell dr. Ste 203 Kennebunk, ME 04043

5. Is/are applicants(s) citizens of the United States? YES NO

6. Is/are applicant(s) residents of the State of Maine? YES NO

7. List name, date of birth, and place of birth for all applicants, managers, and bar managers. Give maiden name, if married:
Use a separate sheet of paper if necessary.

| Name in Full (Print Clearly) | DOB | Place of Birth |
|---|-----------|----------------|
| Tides Beach Club LLC (Applicant) | | |
| Justin Grimes | 5/07/1987 | Portsmouth, NH |
| EOS Regional Resorts Holdings CO | | |
| Residence address on all of the above for previous 5 years (Limit answer to city & state) | | |
| Justin Grimes Kennebunkport, ME | | |
| EOS Regional Resorts New York, NY | | |

8. Has/have applicant(s) or manager ever been convicted of any violation of the law, other than minor traffic violations, of any State of the United States? YES NO

Name: _____ Date of Conviction: _____
 Offense: _____ Location: _____
 Disposition: _____

9. Will any law enforcement official benefit financially either directly or indirectly in your license, if issued?
 Yes No If Yes, give name: _____

10. Has/have applicant(s) formerly held a Maine liquor license? YES NO

11. Does/do applicant(s) own the premises? Yes No If No give name and address of owner: _____

12. Does/do applicant(s) have all the necessary permits required by the State Department of Human Services?
 YES NO Applied for: _____

13. What is the distance from the premises to the NEAREST school, school dormitory, church, chapel or parish house, measured from the main entrance of the premises to the main entrance of the school, school dormitory, church, chapel or parish house by the ordinary course of travel? 3.5m Which of the above is nearest? chapel

14. Have you received any assistance financially or otherwise (including any mortgages) from any source other than yourself in the establishment of your business? YES NO

If YES, give details: Mortgage

The Division of Liquor Licensing & Enforcement is hereby authorized to obtain and examine all books, records and tax returns pertaining to the business, for which this liquor license is requested, and also such books, records and returns during the year in which any liquor license is in effect.

NOTE: "I understand that false statements made on this form are punishable by law. Knowingly supplying false information on this form is a Class D offense under the Criminal Code, punishable by confinement of up to one year or by monetary fine of up to \$2,000 or both."

Dated at: _____ on _____, 20____
 Town/City, State Date

Please sign in blue ink

Alyssa Smith
 Signature of Applicant or Corporate Officer(s)
Alyssa Smith
 Print Name

 Signature of Applicant or Corporate Officer(s)

 Print Name

STATE OF MAINE

Dated at: _____, Maine _____
City/Town (County)

On: _____
Date

The undersigned being: Municipal Officers County Commissioners of the
 City Town Plantation Unincorporated Place of: _____, Maine

Hereby certify that we have given public notice on this application and held public hearing thereon as required by Section 653 Title 28A, Maine Revised Statutes and herby approve said application.

THIS APPROVAL EXPIRES IN 60 DAYS

§653. Hearings; bureau review; appeal

1. **Hearings.** The municipal officers or, in the case of unincorporated places, the county commissioners of the county in which the unincorporated place is located, may hold a public hearing for the consideration of applications for new on-premises licenses and applications for transfer of location of existing on-premises licenses. The municipal officers or county commissioners may hold a public hearing for the consideration of requests for renewal of licenses, except that when an applicant has held a license for the prior 5 years and a complaint has not been filed against the applicant within that time, the applicant may request a waiver of the hearing.

A. The bureau shall prepare and supply application forms. [1993, c. 730, §27 (AMD).]

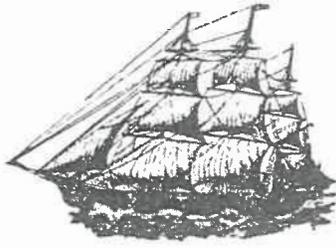
B. The municipal officers or the county commissioners, as the case may be, shall provide public notice of any hearing held under this section by causing a notice, at the applicant's prepaid expense, stating the name and place of hearing, to appear on at least 3 consecutive days before the date of hearing in a daily newspaper having general circulation in the municipality where the premises are located or one week before the date of the hearing in a weekly newspaper having general circulation in the municipality where the premises are located. [1995, c. 140, §4 (AMD).]

C. If the municipal officers or the county commissioners, as the case may be, fail to take final action on an application for a new on-premises license or transfer of the location of an existing on-premises license within 60 days of the filing of an application, the application is deemed approved and ready for action by the bureau. For purposes of this paragraph, the date of filing of the application is the date the application is received by the municipal officers or county commissioners. This paragraph applies to all applications pending before municipal officers or county commissioners as of the effective date of this paragraph as well as all applications filed on or after the effective date of this paragraph. This paragraph applies to an existing on-premises license that has been extended pending renewal. The municipal officers or the county commissioners shall take final action on an on-premises license that has been extended pending renewal within 120 days of the filing of the application. [2003, c. 213, §1 (AMD).]

D. If an application is approved by the municipal officers or the county commissioners but the bureau finds, after inspection of the premises and the records of the applicant, that the applicant does not qualify for the class of license applied for, the bureau shall notify the applicant of that fact in writing. The bureau shall give the applicant 30 days to file an amended application for the appropriate class of license, accompanied by any additional license fee, with the municipal officers or county commissioners, as the case may be. If the applicant fails to file an amended application within 30 days, the original application must be denied by the bureau. The bureau shall notify the applicant in writing of its decision to deny the application including the reasons for the denial and the rights of appeal of the applicant. [1995, c. 140, §5 (NEW).] [2003, c. 213, §1 (AMD) .]

2. **Findings.** In granting or denying an application, the municipal officers or the county commissioners shall indicate the reasons for their decision and provide a copy to the applicant. A license may be denied on one or more of the following grounds:

AGENDA ITEM DIVIDER



TOWN OF KENNEBUNKPORT, MAINE

— INCORPORATED 1653 —

**APPLICATION
SPECIAL AMUSEMENT PERMIT FOR
DANCING AND ENTERTAINMENT**

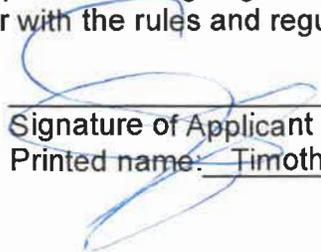
Name of Applicant Timothy Harrington/Sandy Pines Campground
Residence Address 2 Livewell Dr, Suite 201 Kennebunk ME 04043
Home Telephone Number 207-985-5132
Name of Business Sandy Pines Campground
Business Address 277 Mills Rd Kennebunkport, ME 04046
Type of Business Campground
Business Telephone Number 207-967-2483
Nature of Special Amusement Live music, Small bands

Has your liquor and or amusement license ever been denied or revoked?

Yes _____ No X

If yes, describe circumstances specifically. (Attach additional page if necessary)

1. Permit Fee: \$ 100.00 (payable to the Town of Kennebunkport)
2. By making application for this permit and signing this application form, I acknowledge that I am familiar with the rules and regulations governing this permit.


Signature of Applicant
Printed name: Timothy Harrington



TOWN OF KENNEBUNKPORT, MAINE

– INCORPORATED 1653 –

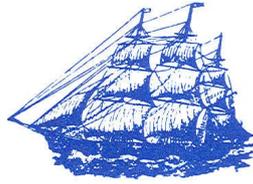
SPECIAL AMUSEMENT PERMIT **FOR DANCING AND ENTERTAINMENT**

The Municipal Officers of the Town of Kennebunkport have granted a Special Amusement Permit for Dancing and Entertainment for the license year of the existing liquor license *Sandy Pines Campground* in accordance with the Special Amusement Permit rules and regulations adopted by the Kennebunkport Board of Selectmen on February 27, 2003.

Dated at Kennebunkport, Maine, this 25th day of April 2024.


Tracey O'Roak, Town Clerk

AGENDA ITEM DIVIDER



TOWN OF KENNEBUNKPORT, MAINE

MEMORANDUM

Dt: April 22, 2024

To: Laurie Smith

Fr: Eric Labelle, P.E., Town Engineer/Dep. PW Director

Re: Presentation of the Preliminary Design Report findings for Resiliency / Reconstruction Ocean Avenue

The Town has seen an increase in flooding events over the past several years, necessitating emergency response and subsequent restoration and clean-up on the roughly 1,000-foot stretch of Ocean Avenue between Sandy Cove Road and Wandby Beach. The Town has experienced flooding in two low-lying areas that sit at roughly elevation 9 and elevation 10 (NAVD88), respectively. That flooding has resulted in the repeated washout and subsequent repair of the existing corrugated metal pipe culvert near the driveway to Walker's Point and erosion of the Wandby Beach parking area, displacing stone across the roadway and into the adjacent wetland.

In September 2023, the Board of Selectman approved the hiring of Woodard and Curran to conduct a study of the area and produce a Preliminary Design Report (PDR). Woodard and Curran will present the results of their findings to the Board of Selectmen while developing the Preliminary Design Report (PDR). The PDR findings include geotechnical information, site constraints, flood hazards, road elevation considerations, and alternatives. Woodard and Curran will provide two recommended road/wall elevations and two recommended types of construction, accompanied by estimated costs.

We will be seeking policy guidance on the Board's preference for final recommendations for the PDR.



Woodard
& Curran

Ocean Avenue Reconstruction *Kennebunkport, Maine*

Apr 25, 2024 Board of Selectmen
Barry Sheff, P.E.



Agenda

- ▶ **Project Background**
- ▶ **Preliminary Design**
 - Site Constraints
 - Flood Hazards
 - Road Elevation Considerations
 - Alternatives
- ▶ **Discussion**



Project Background

Project Goal: *Elevate Ocean Avenue to improve resilience to flooding*

- ▶ Maintain access
 - Periodic closures due to storm events
 - Currently closed due to January storm damage
- ▶ Reduce risks to utility infrastructure
 - Water main
 - Lake of Woods drainage



Ocean Ave – Existing Conditions



- ▶ 2-Lane, 2-Way Town Road
- ▶ Road El: 8.82 (NAVD88) at Walker Point; 10.04 at Wandby Beach
- ▶ Below FEMA Base Flood Elevation (BFE)
- ▶ Bituminous Sidewalk with Granite Curb (one side)
- ▶ Marsh on northern side
- ▶ Culvert drains from marsh to beach
- ▶ Water main within ROW
- ▶ Overhead Power
- ▶ Wandby Beach Parking

Preliminary Design - Site Constraints

► Geotechnical Findings

- 15 Borings
- Relic Marsh and Peat in 9 of 15 borings – 10 ft thick
- Glaciomarine (clay) in 7 of 15 borings – 14 ft thick
- **High likelihood of settlement**

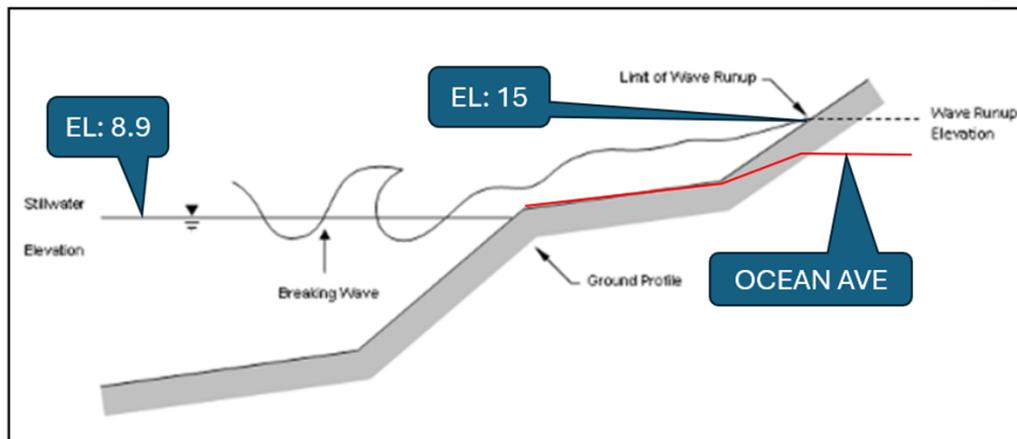
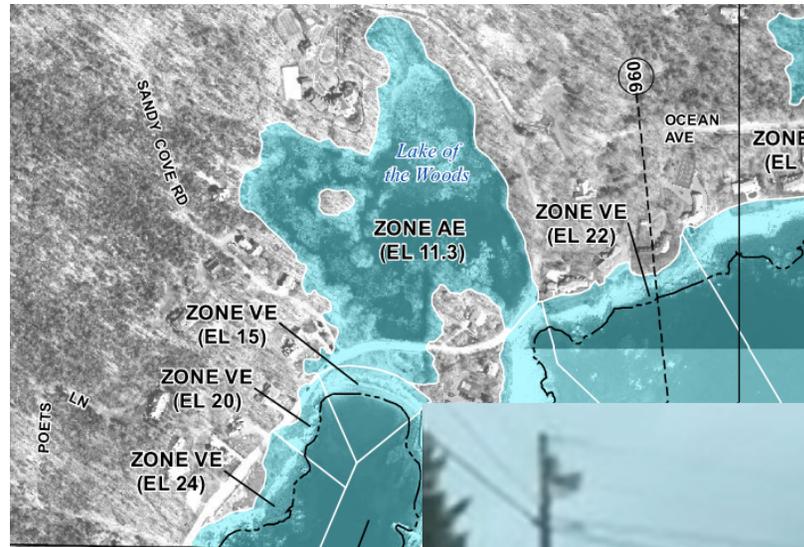
► Recommendation

- Due to thickness, overexcavation not recommended
- **Place fill without paving -> settlement period -> final grading & paving**

| BORING LOG | | | | | | | | | | BORING NO.: | B-12 | |
|--|------------|-------------------|------------|------------|---------------|-------------------|-------------------------|--|---|-------------------------------------|------------------------|---------|
|  CLIENT: Woodard & Curran PROJECT: Proposed Ocean Avenue Reconstruction LOCATION: Ocean Avenue, Kennebunkport, Maine | | | | | | | | | | SHEET: | 1 of 1 | |
| | | | | | | | | | | PROJECT NO.: | 23-1493 | |
| | | | | | | | | | | DATE START: | 11/8/2023 | |
| | | | | | | | | | | DATE FINISH: | 11/8/2023 | |
| Drilling Information LOCATION: See Exploration Location Plan ELEVATION (FT): 11' +/- TOTAL DEPTH (FT): 37.0 LOGGED BY: Ian Reilly DRILLING CO.: S. W. Cole Explorations, LLC DRILLER: Ryan Hackett DRILLING METHOD: Hollow Stem Auger RIG TYPE: Track Mounted Diedrich D-50 AUGER ID/OD: 2 1/4 in / 5 5/8 in SAMPLER: Standard Split-Spoon HAMMER TYPE: Automatic HAMMER WEIGHT (lbs): 140 CASING ID/OD: N/A/N/A CORE BARREL: N/A HAMMER CORRECTION FACTOR: HAMMER DROP (inch): 30 WATER LEVEL DEPTHS (ft): 6 ft Soils Saturated Below 6' +/- | | | | | | | | | | | | |
| GENERAL NOTES: KEY TO NOTES: Water Level D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S _v = Field Vane Shear Strength, kips/sq.ft. AND SYMBOLS: U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer R _{cu} = Unconfined Compressive Strength, kips/sq.ft. At time of Drilling R = Rock Core Sample blf = Blows per Foot RQD = Rock Quality Designation φ = Friction Angle (Estimated) At Completion of Drilling V = Field Vane Shear rpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable After Drilling | | | | | | | | | | | | |
| SAMPLE INFORMATION | | | | | | | | | | Sample Description & Classification | H ₂ O Depth | Remarks |
| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | Sample No. | Depth (ft) | Pen/Rec. (in) | Blow Count or RQD | Field / Lab Test Data | Graphic Log | | | | |
| 10 | | | 1D | 0-2 | 24/18 | 8-12-14-14 | |  | Medium dense to dense, light brown, SAND and GRAVEL, some silt (FILL) | | | |
| | 5 | | 2D | 2-4 | 24/26 | 41-16-17-15 | | | Medium dense, light brown, silty sandy GRAVEL (FILL) | | | |
| | | | 3D | 5-7 | 24/15 | 16-11-9-8 | | | Loose, dark brown PEAT, occasional sand seams | | | |
| | 10 | | 4D | 10-12 | 24/1 | 4-3-2-2 | | | | | | |
| | 15 | | 5D | 15-17 | 24/19 | 2-1-2-2 | w=213.2% O=20.1% | | | | | |
| | 20 | | 6D | 20-22 | 24/24 | 5-6-7-9 | q _u =5-7 ksf | | | Stiff, gray, silty CLAY | | |
| | 25 | | 7D | 25-27 | 24/24 | WOH/24 | | | | Soft, gray, silty CLAY | | |
| | 30 | | 8D | 30-32 | 24/24 | WOH/18-10 | | | | Medium dense, gravelly silty SAND | | |

Preliminary Design – Flood Hazard

- ▶ FIRM updated in 2017 anticipated to become effective summer of 2024
- ▶ Lake of the Woods BFE (11.3) based on rainfall
- ▶ Atlantic Ocean VE 15 Zone based on wave influence



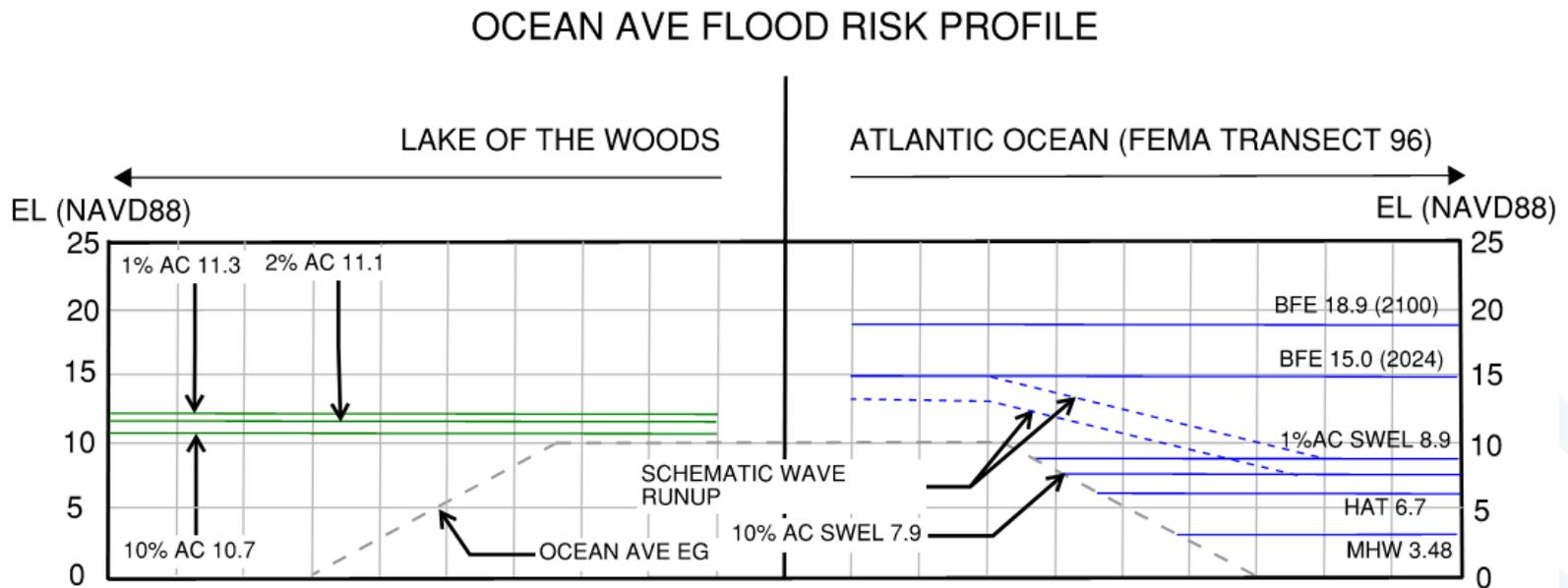
Elevation Summary Table

| Reference | Source | Elevation (ft, NAVD88) |
|--|-----------------------------------|---------------------------|
| Mean High Water (MHW) | NOAA Station 8418911 ¹ | 3.48 |
| 1-year High Water ² | NOAA Station 8418150 ³ | 6.63 |
| Highest Annual Tide (HAT) | Maine DEP | 6.70 |
| 2-year High Water | NOAA Station 8418150 | 7.28 |
| <i>Current Ocean Avenue – Walker’s Point Driveway Lowest Elevation</i> | <i>Attar Engineering</i> | <i>8.82</i> |
| 100-year SWEL | FEMA FIS (2017) | 8.90 |
| January 13, 2024 Portland Tide Gauge | NOAA Station 8418150 | 9.32 |
| <i>Current Ocean Avenue – Wandby Beach Lowest Elevation</i> | <i>Attar Engineering</i> | <i>10.04</i> |
| 10-year Flood Elevation ⁴ | FEMA FIS (2017) | 10.70 |
| 50-year Flood Elevation ⁴ | FEMA FIS (2017) | 11.10 |
| Effective FEMA BFE (Lake of the Woods) ⁴ | FEMA FIS & FIRM (2017) | 11.30 |
| Alternative Road Elevation | W&C Alternatives Analysis | 12.00 |
| 10-year Flood Elevation + 1.5' of sea level rise by 2050 | FEMA FIS (2017), MCC | 12.20 |
| 50-year Flood Elevation + 1.5' of sea level rise by 2050 | FEMA FIS (2017), MCC | 12.60 |
| Effective FEMA BFE + 1.5' of sea level rise by 2050 ⁴ | FEMA FIS (2017), MCC | 12.80 |
| Alternative Road Elevation | W&C Alternatives Analysis | 13.00 |
| January 13, 2024 Wave Runup Observation (Approximate) | Photos & Video | 13.50 |
| Alternative Road Elevation | W&C Alternatives Analysis | 14.00 |
| Effective FEMA BFE (Atlantic Ocean) ⁵ | FEMA FIS & FIRM (2017) | 15.00 |
| Alternative Wave Wall Elevation | W&C Alternatives Analysis | 16.00 |
| Effective FEMA BFE + 1.5' of sea level rise by 2050 ⁵ | FEMA FIS & FIRM, MCC | 16.50 |
| Alternative Wave Wall Elevation | W&C Alternatives Analysis | 17.00 |
| Effective FEMA BFE + 3.9' of sea level rise by 2100 ⁵ | FEMA FIS & FIRM, MCC | 18.90 |

Notes:

- 1 – Kennebunkport, Kennebunk NOAA tidal station (harmonic only, no water level sensor);*
- 2 – Published as “Extreme Water Levels” Annual Exceedance Probability for Station 8418150;*
- 3 – Portland, ME NOAA tidal station (continuous record);*
- 4 – Flood Elevation based on the Lake of the Woods flood elevation which does not consider wave action.*
- 5 – Flood Elevation based on coastal transect analysis including wave action.*

Preliminary Design – Flood Hazard



Alternatives – Slope Stability

- ▶ Segmental Block Wall
 - Cannot be constructed until post-settlement
 - Requires interim vertical MSE wall
- ▶ Rockery Wall
 - Flexible enough to be repaired after settlement
 - Has larger footprint, increasing resource impacts

Segmental Block Wall



Vertical walls, smaller footprint, more rigid structure

Rockery Wall



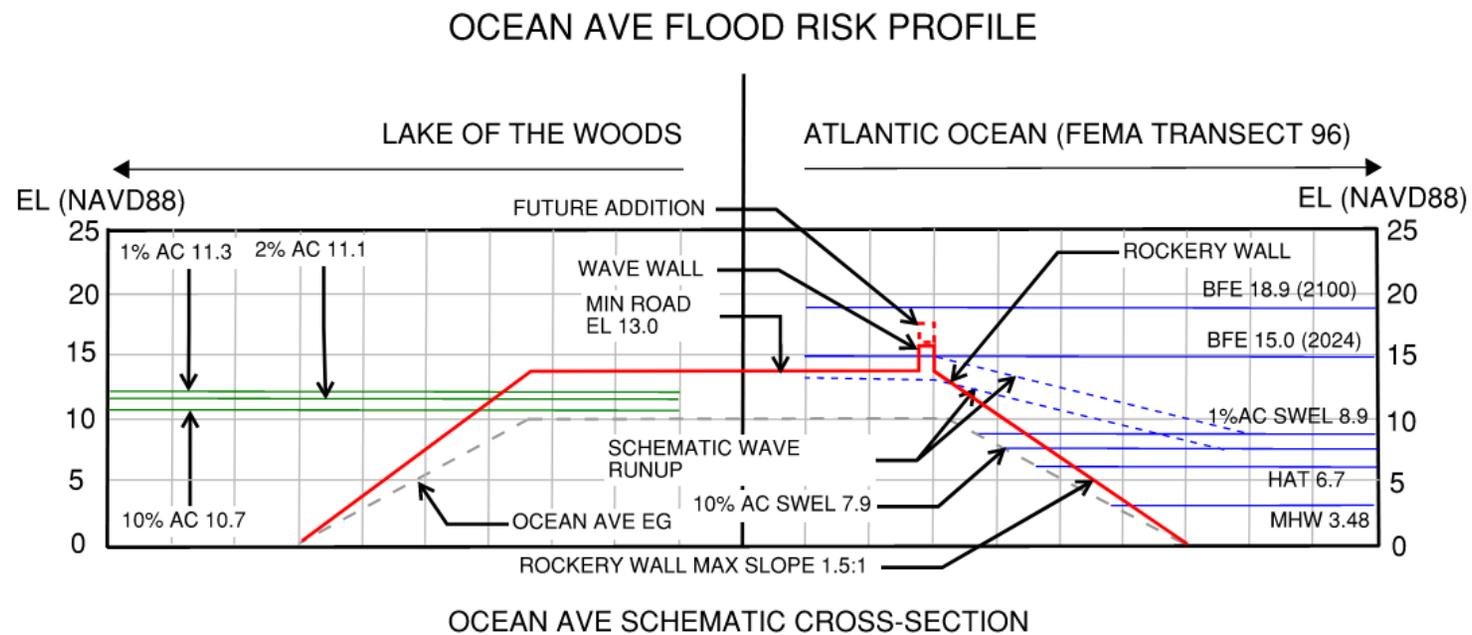
Sloped walls; larger footprint; more flexible structure

Alternatives – Wave Protection

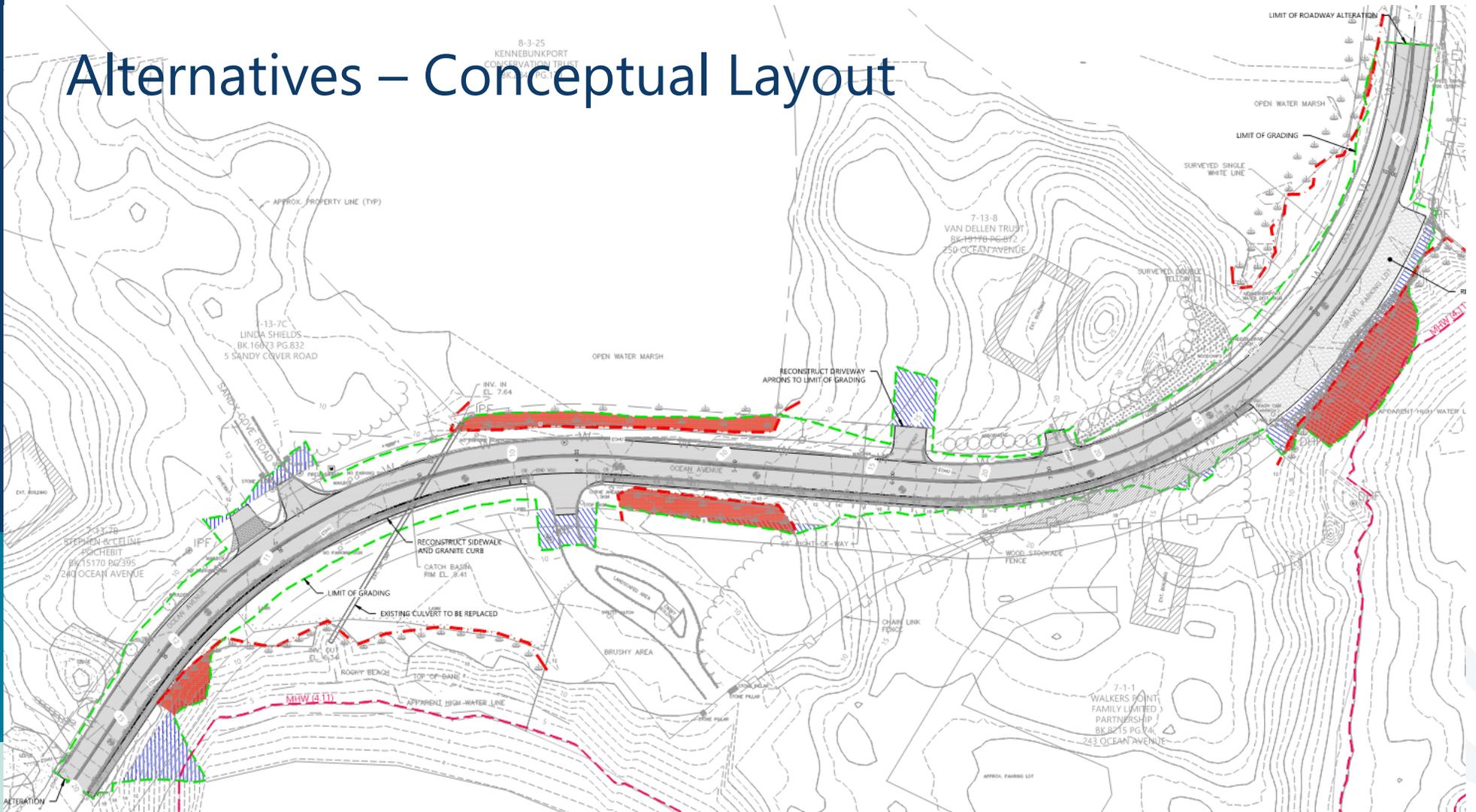
- ▶ Additional elevation increase
 - Elevating road above runup elevation
 - Additional material cost and resource impacts
- ▶ Wave wall
 - Low wall to reflect wave runup
 - Limited in practical height, but provides added protection without added fill



Alternatives – Wave Protection



Alternatives – Conceptual Layout



Alternative Comparison

| Criteria | Elevation 13 Rockery Wall + Wave Wall El. 16 | Elevation 13 Vert. Retaining Wall + Wave Wall El. 16 | Elevation 14 Rockery Wall + Wave Wall El. 17 | Elevation 14 Vert Retaining Wall + Wave Wall El. 17 |
|--|--|--|--|---|
| Flood Resilience | FEMA BFE | FEMA BFE | FEMA BFE + 1.5' of sea level rise by 2050 | FEMA BFE + 1.5' of sea level rise by 2050 |
| Impacts to Private Property | 7,550 SF | 3,100 SF | 11,375 SF | 4,300 SF |
| Impacts to Natural Resources | 10,420 SF \$116,912.40 ILF | 4,080 SF \$45,777.60 ILF | 12,700 SF \$142,494.00 ILF | 4,080 SF \$45,777.60 ILF |
| Conceptual Opinion of Probable Construction Cost | \$2.8M | \$3.9M | \$3.2M | \$4.2M |



Woodard
& Curran

Thank you





**OCEAN AVE
RECONSTRUCTION
PRELIMINARY
DESIGN REPORT**

DRAFT

12 Mountfort Drive
Floors 5 & 6
Portland, ME 04101
800.426.4262

woodardcurran.com

0203806.41
Town of
Kennebunkport,
Maine
April 2024

TABLE OF CONTENTS

| SECTION | PAGE NO. |
|--|-----------------|
| EXECUTIVE SUMMARY | ES-1 |
| 1. INTRODUCTION | 1-1 |
| 2. PROJECT AREA AND FIELD INVESTIGATION..... | 2-1 |
| 2.1 Existing Project Area | 2-1 |
| 2.2 Survey | 2-1 |
| 2.3 Geotechnical | 2-2 |
| 2.4 Wetland Delineation | 2-3 |
| 3. ROAD ELEVATION RESILIENCE EVALUATION | 3-5 |
| 3.1 Types of Hazard | 3-5 |
| 3.2 Resilience Measures | 3-6 |
| 4. DESIGN ALTERNATIVES | 4-9 |
| 4.1 Roadway Elevation..... | 4-9 |
| 4.2 Wave Protection | 4-9 |
| 4.3 Alternative Comparison Criteria | 4-9 |
| 5. RECOMMENDATIONS | 5-12 |
| 5.1 Recommended Alternative..... | 5-12 |
| 5.2 Preliminary Roadway Design..... | 5-12 |
| 5.2.1 Geotechnical Considerations | 5-12 |
| 5.2.2 Vehicular & Pedestrian Safety | 5-12 |
| 5.2.3 Grading and Drainage | 5-12 |
| 5.2.4 Resource Area & Private Property Impacts | 5-12 |
| 5.2.5 Potential for Future Addition | 5-12 |
| 5.3 Statement of Assumptions..... | 5-12 |
| 5.4 Opinion of Probable Project Cost..... | 5-13 |

TABLES

| | |
|------------|---|
| Table 3-1: | Elevation Summary |
| Table 4-1: | Alternative Comparison |
| Table 5-1: | Preliminary Opinion of Probable Project Costs |

FIGURES

| | |
|-------------|---|
| Figure 1-1: | Site Location Map |
| Figure 1-2: | Wave Action at Wandby Beach During Jan 13 (from NE, Lake of Woods to the right) |
| Figure 1-3: | Sidewalk and Road Shoulder Damage (from NE, Sandy Cove Rd to the right) |

- Figure 1-4: Damaged Sidewalk Adjacent to Walker's Point
Figure 2-2: Rockery Wall Example and Typical Schematic Detail. Detail Courtesy of Federal Highway Administration
Figure 2-4: Wetland Delineation Map
Figure 3-1: Sources of Flooding (From FIRM)
Figure 3-2: FEMA Schematic Wave Runup Transect
Figure 3-3: Ocean Avenue Schematic Cross-Section
Figure 3-4: Broomhill Sands Wave Wall, United Kingdom. Image courtesy of Eurotop, 2018
Figure 3-5: Wave Wall Overtopping Testing in Ostia, Italy. Image courtesy of Eurotop, 2018

APPENDICES

- Appendix A: Closed Circuit Television (CCTV) Ocean Ave Culvert
Appendix B: Survey
Appendix C: Geotechnical Report
Appendix D: Wetland Delineation Report
Appendix E: Preliminary Design Drawings
Appendix F: Opinion of Probable Construction Cost (OPCC)

EXECUTIVE SUMMARY

The Town of Kennebunkport, Maine (Town) has identified the need to address a portion of Ocean Avenue near Wandby Beach and Walker's Point that is experiencing flooding during storm events including high tides, storm surge, and wave action. Most recently, storm events in December 2023 and January 2024 resulted in significant stone displacement at the Wandby Beach parking lot, with the January storm also resulting in buckled pavement and damaged sidewalk, causing a closure of the roadway until at least Spring of 2024. The project objective is to identify measures to reduce the flood hazard and prevent future road damage at two locations: near Wandby Beach and Sandy Cove Road (private).

Woodard & Curran (W&C) completed field investigation work within the project area including survey, geotechnical borings and testing, and wetland delineation. Field investigation work aided in evaluating the feasibility of alternatives for the reconstruction of the Ocean Avenue, with a goal of balancing increased resilience and cost, while reducing impacts to resource areas and abutting properties. Geotechnical conditions create the most significant challenge to the options considered, given compressible peat and clay deposits which underly the roadway.

Various sources of water level data were reviewed, including Federal Emergency Management Agency (FEMA) effective and preliminary Flood Insurance Study (FIS) and Flood Insurance Rate Map (FIRM) of the project area, reports published by Maine Climate Council (MCC) regarding sea-level rise, and tidal data collected by the Maine Department of Environmental Protection (Maine DEP) and the National Oceanic and Atmospheric Administration (NOAA). With the existing low point in the roadway at elevation 8.8 (NAVD88) and to address different resiliency scenarios, we initially considered three elevations for the reconstruction of Ocean Avenue: elevation 12 feet, elevation 13, and elevation 14 (NAVD88).

To accomplish these increases in the roadway elevation, we considered two general grade-transition and earth retention systems: vertical precast concrete segmental block wall systems and a flexible rockery wall or stone revetment. We also consider the additional measure of wave walls along Wandby Beach to increase protection from wave run-up and overtopping without raising the elevation of the entire roadway and parking area. These alternatives were evaluated based on flood resilience, impacts to private property, impacts to natural resources, permitting considerations, and overall project cost.

W&C to provide additional executive summary narrative upon meeting(s) with Board of Selectmen and discussions regarding DRAFT recommendation which sets road elevation at 13 with wave wall at elevation 16.

1. INTRODUCTION

A portion of Ocean Avenue adjacent to Walker’s Point, Wandby Beach, and Heaven Park in Kennebunkport, Maine (Town), experiences flooding during large storm events occurring during high tide. This portion of Ocean Avenue extends approximately 1,100 linear feet (LF) with roadway elevations varying from approximately 9 feet (NAVD88) to 20 feet (NAVD88). Roadway flooding occurs in 2 low lying areas along this stretch at the Sandy Cove Road intersection near the Walker’s Point driveway (elevation 8.8 NAVD88) and at the Wandby Beach parking lot (elevation 10 NAVD88). During these occurrences, flooding overtops the roadway, causing damage to the town’s stormwater infrastructure and roadway, and threatening electric and public water utility infrastructure. When Ocean Avenue is closed to through traffic during these events, a detour route of approximately 3.7 miles is required to get around the closure, potentially impacting timely response for emergency vehicles. A site location map of the project area is provided below in Figure 1-1.

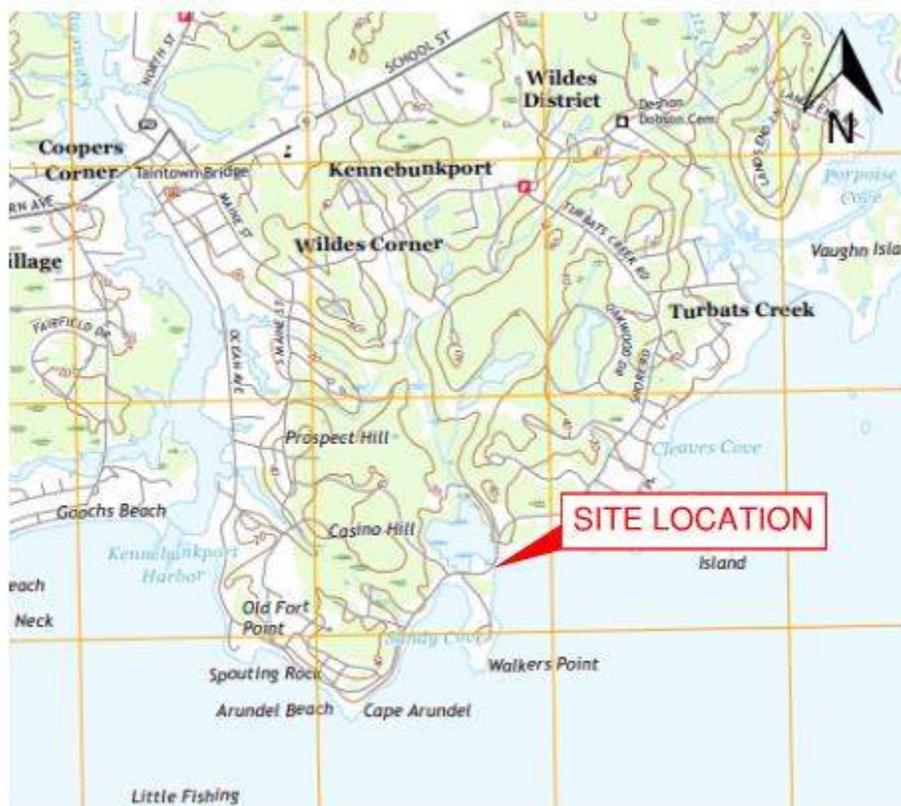


Figure 1-1: Site Location Map

Most recently, significant flooding occurred at the project area on January 10 and 13, 2024 due to high tides, storm surge, and wave action. Damage from the storms included significant amounts of stone from the Wandby beach parking lot being displaced across Ocean Avenue and into the adjacent wetland, buckled pavement in front of Wandby beach, and damaged sidewalk. Based on observations from pictures and videos during and after the event, W&C estimates the floodwaters reached elevation 13.5 (NAVD88) with wave runup. Photos from the January 13, 2024 storm event and its aftermath are presented as Figure 1-2, Figure 1-3 and Figure 1-4 below.



Figure 1-2: Wave Action at Wandby Beach During Jan 13 (from NE, Lake of Woods to the right)



Figure 1-3: Sidewalk and Road Shoulder Damage (from NE, Sandy Cove Rd to the right)



Figure 1-4: Damaged Sidewalk Adjacent to Walker's Point

Elevating the minimum roadway elevation of Ocean Avenue within the project area will reduce frequency of flooding and create more resilient infrastructure. This report details the elevation considerations, resource area impacts, abutting property impacts, utility impacts, and cost considerations to inform the preliminary design of raising Ocean Avenue.

2. PROJECT AREA AND FIELD INVESTIGATION

W&C coordinated topographic and utility survey, geotechnical investigations, and wetland delineation within the project area to support design and permitting efforts.

2.1 Existing Project Area

Ocean Avenue within the project area is approximately 24 feet wide, maintains 2 lanes of vehicular traffic, and includes bituminous sidewalks and granite curbing on the southeastern side. The Atlantic Ocean borders the project area along the southeastern side and wetlands abut the project area along the ocean and in two inland locations on either side of the 250 Ocean Avenue property. An approximately 160-foot-long gravel parking lot is located in front of Wandby Beach, which is separated from the ocean by large boulders.

A 30-inch corrugated metal pipe (CMP) culvert runs beneath Ocean Avenue west of Walker's Point. The culvert connects to an existing catch basin in Ocean Avenue and discharges to Sandy Cove Beach. CCTV (closed circuit television) work was completed by Zoom Drain at the culvert on December 15, 2023. CCTV shows the culvert deformed and filled with seaweed and debris at the outfall along Sandy Cove Beach. An image from the CCTV investigation is included as Figure 2-1.



MSA - Survey Abandoned @ 79.8 ft.
bottom of pipe is gone, unsafe to continue

Figure 2-1 Zoom Drain CCTV of Existing 30" CMP Culvert

Additional utilities within the project vicinity include overhead electric located primarily on the northern side of the street and a water main located on the northern edge of the road in Ocean Avenue.

2.2 Survey

Survey was performed in the fall of 2023 by Attar Engineering, Inc. The Existing Conditions Survey plan, dated January 5, 2024, is included in Appendix B. The right-of-way within the project area varies from 50 feet west of 240 Ocean Avenue before transitioning to 66 feet for the remainder of the project area. The surveyor did not identify any existing easements within the project area, however there is a small section of right-of-way in which a portion of the Walker's Point property appears to encroach into the right-of-way.

2.3 Geotechnical

S.W. Cole Engineering, Inc. (S.W. Cole) performed subsurface exploration comprising of fifteen test borings drilled and cataloged along Ocean Avenue on November 8, 16, and 17, 2023. Probable bedrock ranged from 4 to 27 feet below ground surface. Refusal was generally shallower at higher portions of the road. Borings performed in the lower portions of the road showed peat and clay deposits which are highly compressible and are likely to settle under loading. The geotechnical recommendations primarily address managing settlement with respect to elevating the road and considerations for earth retaining systems in the event that an embankment with mild slopes is not selected for transitioning between existing and proposed grade.

Due to the depth and thickness of the peat and clay deposits, which ranged from 10 to 19 feet below grade, S.W. Cole did not recommend over excavation to remove compressible materials. To accommodate anticipated settlement of 12-24 inches, S.W. Cole recommended placing new fill and allowing settlement for approximately one year post-construction. With anticipated settlement of that magnitude, any rigid structures (e.g. cast-in-place concrete wall) or even semi-flexible structures (precast concrete segmental block walls) should not be constructed until the settlement has occurred.

If a vertical or near vertical wall is selected, S.W. Cole recommended the use of a flexible, mechanically stabilized earth (MSE) retaining wall with a wire form structure such as a SierraScape retaining wall system in the interim condition while settlement occurs. After the initial consolidation period, the MSE wall would be removed, and the final retaining wall would be constructed.

A rockery wall is an alternative to the vertical retaining wall. S.W. Cole determined a rockery wall to be a viable option that is flexible enough to not require a temporary mechanically stabilized earth retaining wall with a wire structure during the settlement period. Some repair and addition of stones would be required following settlement, but this would be less costly than independent temporary and permanent structures. Rockery walls can have slopes steeper than 1H:1V, reducing the footprint of embankment impacts. Examples and details of a Rockery Wall and Retaining Wall are shown respectively in Figure 2-2 and Figure 2-3 below.

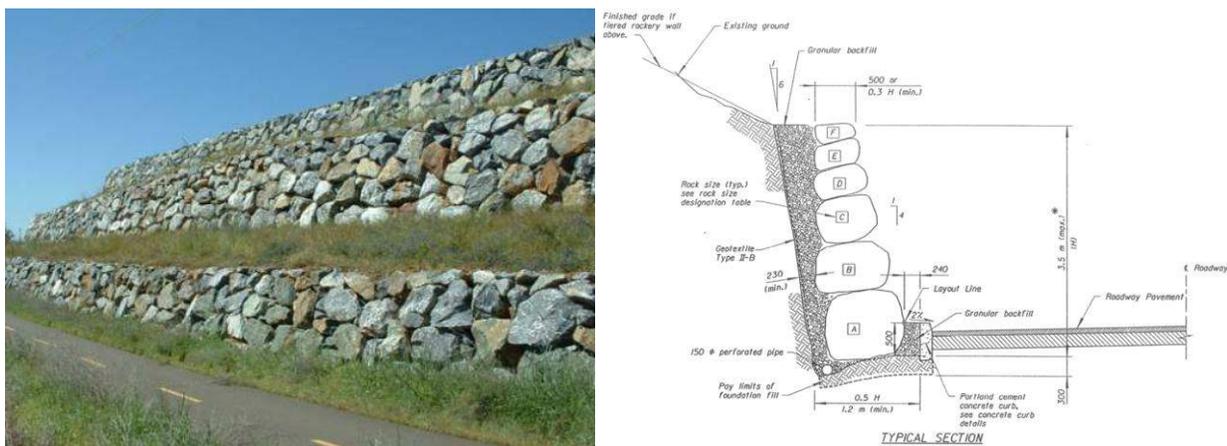


Figure 2-2: Rockery Wall Example and Typical Schematic Detail. Detail Courtesy of Federal Highway Administration

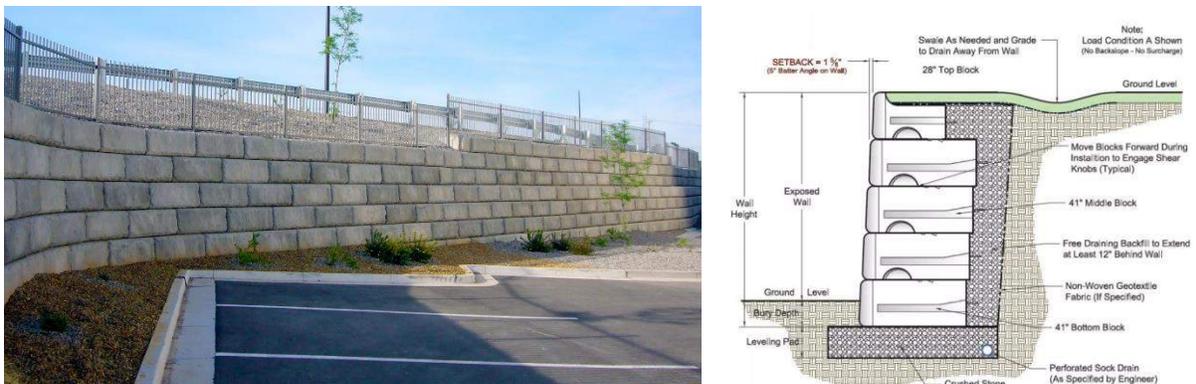


Figure 2-3: Vertical Retaining Wall Example and Typical Schematic Detail. Detail Courtesy of Redi Rock

The Geotechnical Report, dated January 23, 2024, prepared by S.W. Cole, inclusive of recommendations can be found in Appendix C.

2.4 Wetland Delineation

F.B. Environmental Associates (FB) performed a wetland delineation of the project area on October 12, 2023. Wetlands and watercourses were classified using the U.S. Fish and Wildlife Service Classification of Wetlands and Deepwater Habitats of the United States. FB identified and classified four wetland types within the project area:

- Wetland A and Wetland B (PEM1Hh & PUBHh): (PEM1Hh immediately adjacent to roadway) a permanently flooded water regime and persistent emergent vegetation; (PUBHh interior of wetland) a permanently flooded palustrine unconsolidated bottom wetland;
- Wetland C and Wetland E (M2US1N/P): (M2US1N/P west of Walker's Point and Wandby Beach parking lot) a marine intertidal system with an unconsolidated shore of cobble-gravel that is regularly flooded in the lower parts and irregularly flooded in the upper portion (closer to the road);
- Wetland D (PEM1D/E): (PEM1D/E east of Walker's Point) an emergent wetland with persistent vegetation that is continuously saturated and seasonally flooded.

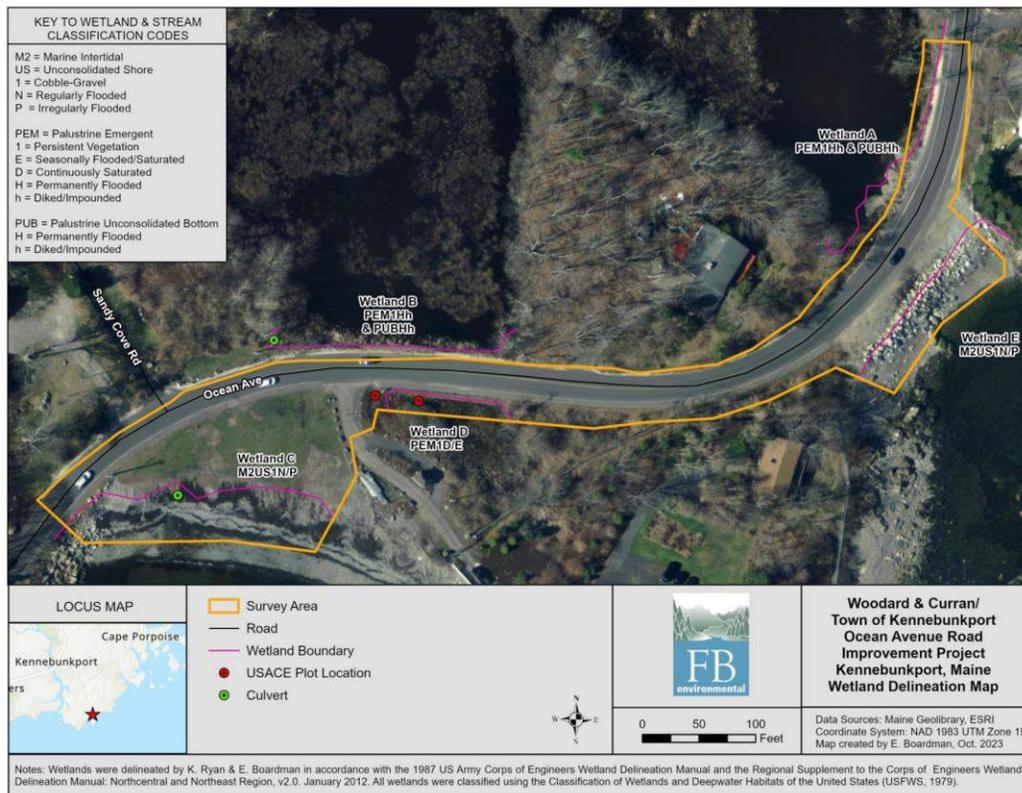


Figure 2-4: Wetland Delineation Map

Chapter 310 of the Maine Natural Resources Protection Act (NRPA) sets forth that all coastal wetlands within the state are considered Wetlands of Special Significance (WoSS). The wetlands identified within the project area are WoSS.

In addition to delineation of resource areas, FB contacted the Maine Natural Areas Program (MNAP) to determine if any rare and unique botanical features were within the project area. MNAP determined that there are no rare botanical features documented within the project area.

FB also contacted the State of Maine Department of Inland Fisheries & Wildlife (MDIFW) to determine if any endangered, threatened, special concern species, and inland fishery habitats were within the project area. MDIFW determined that no locations of state-listed endangered, threatened, or special concern species were within the project area and that there are no mapped essential habitats or inland fisheries that would be directly affected by the project. The evaluation by MDIFW determined that inland waterfowl wading bird habitat is adjacent to the project area and depending on project scope, they may recommend construction not occur between July 15 and April 1 as a result.

The Wetland Delineation dated October 24, 2023, prepared by FB, can be found in Appendix D.

3. ROAD ELEVATION RESILIENCE EVALUATION

3.1 Types of Hazard

The low-lying areas of Ocean Avenue targeted for improvement in this project are subject to two primary flooding hazards: rainfall-driven (Lake of the Woods) and coastal. The Preliminary Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), expected to become effective later in 2024, shows Ocean Avenue as the boundary between rainfall-driven and coastal flooding, depicted below in Figure 3-1.

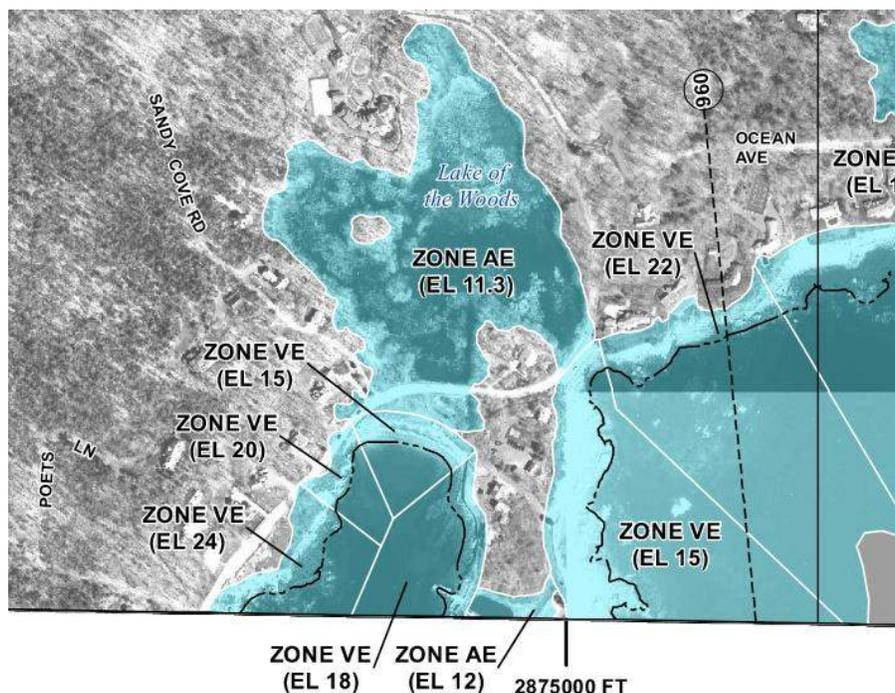


Figure 3-1: Sources of Flooding (From FIRM)

In general, FEMA determined the Base Flood Elevation (BFE) for Lake of the Woods by evaluating rainfall in the contributing drainage area, while the coastal BFE was determined by evaluating three major components: the Still Water Level (SWEL) in the Atlantic Ocean, including tide, atmospheric pressure and temperature; the significant wave height in deep water just off-shore; and the additional height of the wave run-up along a transect representing the ground surface elevation, both under and above water shown in Figure 3-2. The transect used to map Ocean Avenue is most likely transect 96 shown just east of Lake of the Woods in Figure 3-1. Since transects are discrete locations, mapping between transects is interpolated and can be subject to the judgment of the modeler.

One of the primary differences between the previous effective FIRM (1983) and the soon-to-be effective FIRM is that additional transects were added, and whereas the Ocean Avenue BFE was previously mapped based on Lake of the Woods (AE 11.3), it is now influenced by a Zone VE, areas subject to inundation by the 1% annual chance flood with additional hazards associated with storm waves, at elevation 15 (VE 15). Based on the events of January 2024, the VE zone classification seems appropriate for this location.

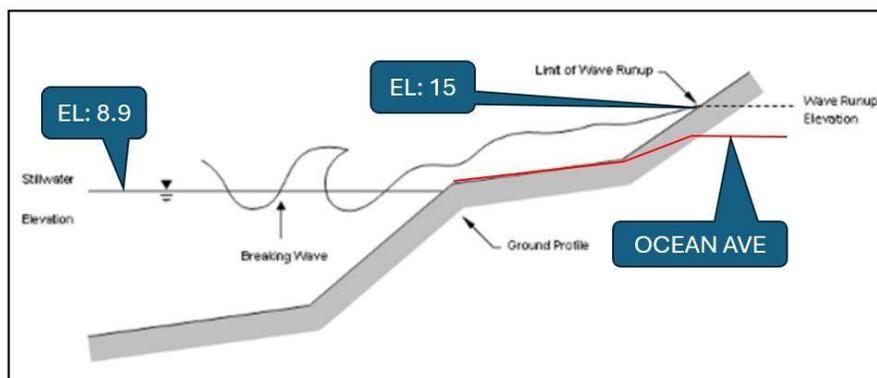


Figure 3-2: FEMA Schematic Wave Runup Transect

Figure 3-3 below shows a schematic of Ocean Avenue identifying water surface elevations from the Portland Tide Gauge and the effective Flood Insurance Study (FIS) relative to the Ocean Avenue elevation at Wandby Beach. Consistent with observed events, the most extreme risk is posed by wave action. Table 3-1 below summarizes the elevation considerations and sources utilized in evaluating the future elevation of Ocean Avenue. The current low point on Ocean Avenue within the extents of the project area is approximately elevation 8.8 feet (NAVD88) and is located at the Walker’s Point driveway.

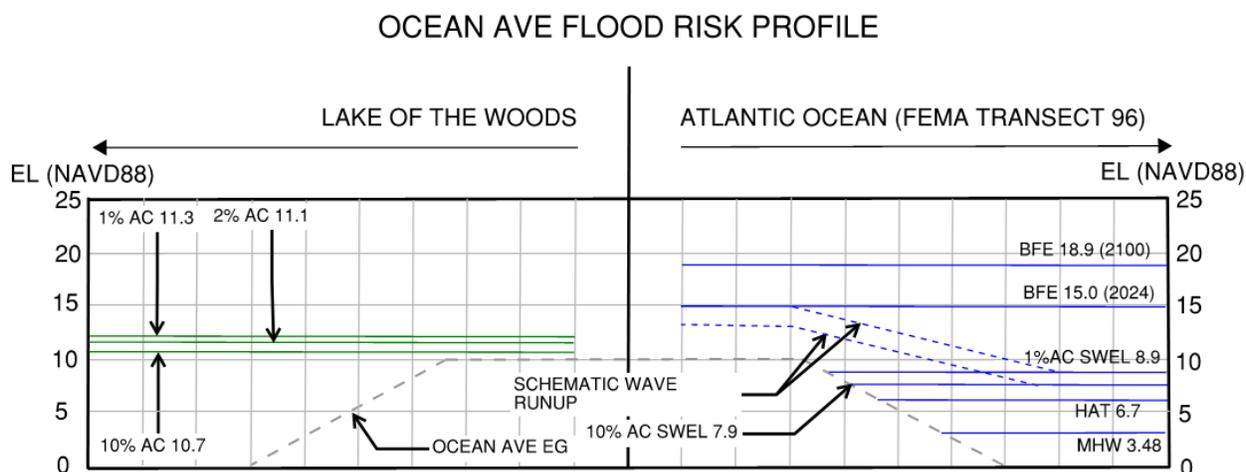


Figure 3-3: Ocean Avenue Schematic Cross-Section

3.2 Resilience Measures

Improving the resilience of Ocean Avenue to flooding means addressing the potential flooding from Lake of the Woods and the Atlantic Ocean. As discussed in the previous section, flooding from the Atlantic Ocean consists of a SWEL component and a wave component. Raising the elevation of the road provides the most absolute level of protection; however, the acceptable level must be determined, and elevating the road carries cost and abutter impact implications. Options for minimizing impacts include use of a vertical segmental block wall or sloped rockery wall or stone revetment described and depicted in Section 2.

To address the localized nature of the hazard, wave run-up on Wandby Beach overtopping Ocean Ave, a wave wall option along Wandby Beach was also considered. In this case, the wave wall would be a low wall (2 to 4 feet high) constructed of precast concrete blocks on the top of the slope to reflect waves of a certain height from damaging the road. A wave wall would not be an earth-retaining wall and would have reveal on both sides. The ocean-side wall geometry could be vertical or curved to improve the water reflecting potential; a vertical face, while able to reflect less wave energy, has the benefit of accommodating additional courses of blocks in the future for added resilience as long as the base is adequately designed. Examples of wave walls at the top of stone revetments are shown in Figures 3-4 and 3-5 below.



Figure 3-4: Broomhill Sands Wave Wall, United Kingdom. Image courtesy of Eurotop, 2018



Figure 3-5: Wave Wall Overtopping Testing in Ostia, Italy. Image courtesy of Eurotop, 2018

Table 3-1 below compiles relevant water surface elevation information with references and alternative road and wave wall elevations considered.

Table 3-1: Elevation Summary

| Reference | Source | Elevation (ft, NAVD88) |
|--|-----------------------------------|---------------------------|
| Mean High Water (MHW) | NOAA Station 8418911 ¹ | 3.48 |
| 1-year High Water ² | NOAA Station 8418150 ³ | 6.63 |
| Highest Annual Tide (HAT) | Maine DEP | 6.70 |
| 2-year High Water | NOAA Station 8418150 | 7.28 |
| <i>Current Ocean Avenue – Walker’s Point Driveway Lowest Elevation</i> | <i>Attar Engineering</i> | 8.82 |
| 100-year SWEL | FEMA FIS (2017) | 8.90 |
| January 13, 2024 Portland Tide Gauge | NOAA Station 8418150 | 9.32 |
| <i>Current Ocean Avenue – Wandby Beach Lowest Elevation</i> | <i>Attar Engineering</i> | 10.04 |
| 10-year Flood Elevation ⁴ | FEMA FIS (2017) | 10.70 |
| 50-year Flood Elevation ⁴ | FEMA FIS (2017) | 11.10 |
| Effective FEMA BFE (Lake of the Woods) ⁴ | FEMA FIS & FIRM (2017) | 11.30 |
| Alternative Road Elevation | W&C Alternatives Analysis | 12.00 |
| 10-year Flood Elevation + 1.5’ of sea level rise by 2050 | FEMA FIS (2017), MCC | 12.20 |
| 50-year Flood Elevation + 1.5’ of sea level rise by 2050 | FEMA FIS (2017), MCC | 12.60 |
| Effective FEMA BFE + 1.5’ of sea level rise by 2050 ⁴ | FEMA FIS (2017), MCC | 12.80 |
| Alternative Road Elevation | W&C Alternatives Analysis | 13.00 |
| January 13, 2024 Wave Runup Observation (Approximate) | Photos & Video | 13.50 |
| Alternative Road Elevation | W&C Alternatives Analysis | 14.00 |
| Effective FEMA BFE (Atlantic Ocean) ⁵ | FEMA FIS & FIRM (2017) | 15.00 |
| Alternative Wave Wall Elevation | W&C Alternatives Analysis | 16.00 |
| Effective FEMA BFE + 1.5’ of sea level rise by 2050 ⁵ | FEMA FIS & FIRM, MCC | 16.50 |
| Alternative Wave Wall Elevation | W&C Alternatives Analysis | 17.00 |
| Effective FEMA BFE + 3.9’ of sea level rise by 2100 ⁵ | FEMA FIS & FIRM, MCC | 18.90 |

Notes: 1 – Kennebunkport, Kennebunk NOAA tidal station (harmonic only, no water level sensor); 2 – Published as “Extreme Water Levels” Annual Exceedance Probability for Station 8418150; 3 – Portland, ME NOAA tidal station (continuous record); 4 – Flood Elevation based on the Lake of the Woods flood elevation which does not consider wave action. 5 – Flood Elevation based on coastal transect analysis including wave action

4. DESIGN ALTERNATIVES

4.1 Roadway Elevation

The preliminary design for the Ocean Avenue reconstruction included an analysis of four alternatives:

- Roadway minimum elevation 13 feet with rockery wall (wave wall to elevation 16)
- Roadway minimum elevation 13 feet with vertical retaining wall (wave wall to elevation 16)
- Roadway minimum elevation 14 feet with rockery wall (wave wall to elevation 16)
- Roadway minimum elevation 14 feet with vertical retaining wall (wave wall to elevation 16)

During the initial evaluation of alternatives, W&C also considered elevation 12 as a minimum roadway elevation. Due to damage caused by recent storm events and considerations for future sea level rise, it was determined raising the road to elevation 12 did not provide adequate resilience.

The extent of each alternative is approximately 1,100 linear feet, extending from 200 feet west of the driveway at 240 Ocean Avenue east to 253 Ocean Avenue, including the Wandby Beach parking area.

4.2 Wave Protection

The preliminary design for the Ocean Avenue reconstruction also considered additional measures for protection from waves along Wandby Beach. As discussed in Section 3, a wave wall provides additional wave run-up and overtopping protection without raising the elevation of the entire roadway. Wave wall height is likely limited to a maximum of approximately four feet as precast elements without additional anchoring and stability design.

4.3 Alternative Comparison Criteria

W&C considered various criteria during the selection of the reconstruction alternatives. These criteria include flood resilience, impacts to private property, impacts to natural resources, permitting considerations, and overall project cost.

Alternatives were identified to raise the minimum roadway elevation to 13 feet or 14 feet, which is above the Lake of the Woods 1% annual-chance flood elevation and the. A wave wall at Wandby Beach to minimum elevation of 16 feet was also considered to reduce wave run-up and overtopping hazards, providing protection against the present day Atlantic Ocean BFE. A wave wall to a minimum elevation of 17 feet would protect against the Atlantic Ocean BFE in 2050 (1.5 feet of sea level rise).

Impacts beyond the right-of-way into private properties were quantified for each alternative. Impacts to driveways extending beyond the right-of-way will increase as the roadway elevation increases in order to maintain a slope of no more than 10% approaching the roadway. The impact to driveways is not expected to change between the rockery wall and vertical retaining wall alternatives at the same elevation. Grading impacts on vegetated areas of private properties is larger for the rockery wall alternatives as compared to the vertical retaining wall alternatives, where little to no impact to vegetated areas outside of the right-of-way are anticipated regardless of the minimum roadway elevation. Similar to the driveways, for the rockery wall alternatives the extent of vegetated area impact will increase as the roadway elevation increases.

A resource area delineation conducted by FB determined that WoSSs are present along the majority of the project area. Each alternative was assessed based on its impact to wetlands and other natural resources and in-lieu compensation fees (ILF) associated with these impacts. The horizontal footprint associated with the vertical retaining wall is smaller as compared to the horizontal footprint required to construct the sloped face of the rockery wall, at an approximate 1.5H:1V slope. As a result, the resource area impact resulting from the rockery wall alternatives is higher than the vertical retaining wall, where minimal impacts to resource areas is anticipated regardless of the minimum roadway elevation. The extent of resource area impacts will increase as the roadway elevation increases for the rockery wall option.

Each alternative was evaluated against permitting requirements. It is anticipated that each alternative would require a Maine Department of Environmental Protection Natural Resources Protection Act (NRPA) Individual Permit. Based on W&C's experience with the Pier Road Reconstruction Project in Kennebunkport, the vertical retaining wall option may be considered an exempt activity and not require a NRPA individual permit. The vertical retaining wall options do not result in any impact below the mean annual high-water mark (MAHWM), though the rockery wall options do result in impact below the MAHWM. As a result, it is anticipated that the rockery wall options would also trigger the need for an Army Corps of Engineers (ACOE) permit under Section 28, Bank and Shoreline Stabilization.

Each alternative was evaluated based on the approximate construction cost. In general, due in large part to the challenging subsurface geotechnical conditions, the cost to construct the vertical retaining wall options are \$1M more expensive as compared to a rockery wall constructed at the same elevation, even when accounting for in-lieu compensation fees. A portion of the large increase in cost for the vertical retaining wall is resulting from the required installation of MSE retaining walls during a one-year settlement period, followed by the installation of the vertical retaining wall. In contrast, the rockery wall would be installed during the initial construction period and would not require an interim condition during the one-year settlement period. The construction cost increases as elevation increases across the alternatives, however both rockery wall options are less expensive than the vertical retaining wall options.

The criteria evaluated and quantified for each alternative are summarized in Table 4-1 below.

Table 4-1: Alternative Comparison

| Criteria | Elevation 13 Rockery Wall¹; Wave Wall El. 16 | Elevation 13 Vertical Retaining Wall; Wave Wall El. 16 | Elevation 14 Rockery Wall¹; Wave Wall El. 17 | Elevation 14 Vertical Retaining Wall; Wave Wall El. 17 |
|--|--|---|--|---|
| Flood Resilience | Protection above the Effective FEMA BFE | Protection above the Effective FEMA BFE | Protection above the Effective FEMA BFE +1.5' SLR | Protection above the Effective FEMA BFE +1.5' SLR |
| Impacts to Private Property | 7,550 SF 4 Construction Licenses Required | 3,100 SF 4 Construction Licenses Required | 11,375 SF 4 Construction Licenses Required | 4,300 SF 4 Construction Licenses Required |
| Impacts to Natural Resources | 10,420 SF \$116,912.40 ILF | 4,080 SF \$45,777.60 ILF | 12,700 SF \$142,494.00 ILF | 4,080 SF \$45,777.60 ILF |
| Permitting Considerations | NRPA Individual Permit ACOE PCN | NRPA Individual Permit | NRPA Individual Permit ACOE PCN | NRPA Individual Permit |
| Conceptual Opinion of Probable Project Cost | \$2.8M | \$3.9M | \$3.2M | \$4.2M |

Note: 1. Rockery wall slope assumed to be 1.5(H):1(V). The slope may be steepened during final design, resulting in a reduction in material and impact area.

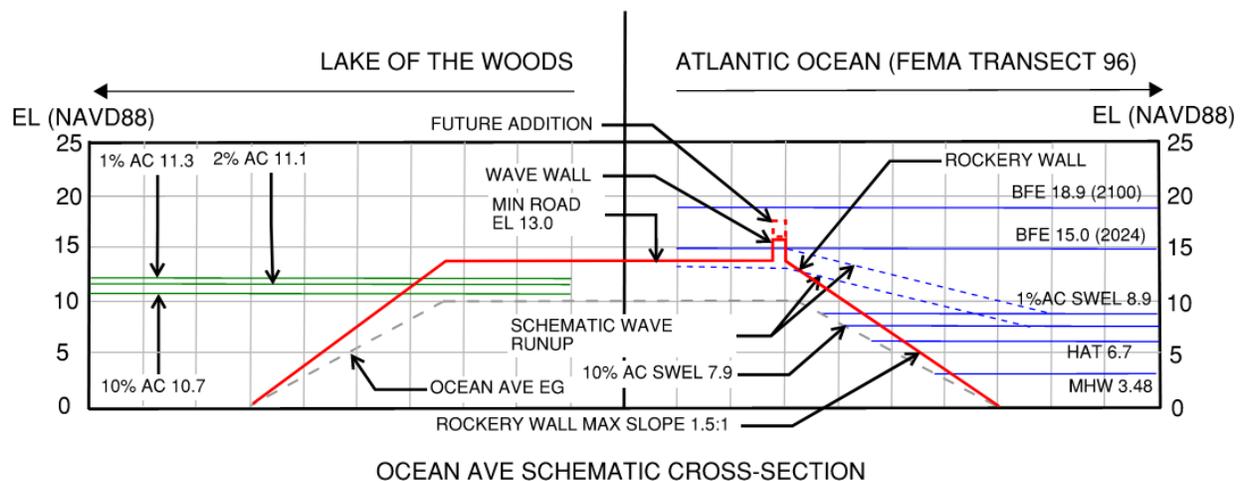
5. RECOMMENDATIONS

W&C to provide additional detail and narrative on recommendations upon meeting(s) with Board of Selectmen.

5.1 Recommended Alternative

DRAFT recommendation sets road elevation at 13 with wave wall at elevation 16.

OCEAN AVE FLOOD RISK PROFILE



5.2 Preliminary Roadway Design

5.2.1 Geotechnical Considerations

5.2.2 Vehicular & Pedestrian Safety

5.2.3 Grading and Drainage

5.2.4 Resource Area & Private Property Impacts

5.2.5 Potential for Future Addition

5.3 Statement of Assumptions

W&C does not make any warranties, express or implied, or representations of likelihood of any specific outcomes, forecast/s or the likelihood or unlikelihood of any future events or outcomes. This work is based on assumptions that are likely subject to change as they are inherently dynamic and variable over time. To the extent that any information provided herein might be considered forward-looking in nature, it is subject to unknown variables, risks and uncertainties. The analysis provided in this report may be carried out using other frameworks, models or scenarios, and the Town may form their own view as to the various frameworks, models and scenarios that are most appropriate to the Town's circumstances.

5.4 Opinion of Probable Project Cost

Table 5-1: Preliminary Opinion of Probable Project Costs

| Project Component | Estimated Cost |
|--|----------------|
| Construction Subtotal | |
| Design Contingency (10%) | |
| Owner's Contingency (10%) | |
| In-Lieu Compensation Allowance | |
| Engineering, Permit, Bid Services | |
| Construction Administration Services | |
| <i>Estimated Total Project Cost</i> | |

APPENDIX A: CLOSED CIRCUIT TELEVISION (CCTV) OCEAN AVE CULVERT



Surveyors name Brock Bragdon
 Certificate Number U-613-16827
 System Owner Town of Kennebunkport
 Survey Customer Kennebunkport Wastewater
 Drainage Area
 Sheet 1

P/O No.
Pipeline Segment Reference CB 1 to retention area
Date 20231215
Time 00:56
Location (Street Name and number) 15 Ocean Ave
Locality Kennebunkport, ME

Further Location details side of road
Upstream Manhole Number Retention area
Rim to Invert
Grade to Invert
Rim to Grade

Downstream Manhole Number CB 1
Rim to Invert
Grade to Invert
Rim to Grade
Use of Sewer Stormwater
Direction Upstream
Flow Control P
Height 30

Width 30
Shape Circular
Material SP
Ln. Method
Pipe Joint Length
Total Length
Length Surveyed 53.8
Year Laid
Year Rehabilitated
Tape / Media Number

Purpose B
Sewer Category
Pre-Cleaning No Pre-Cleaning
Date Cleaned
Weather Dry
Additional Information Inclination +/- 1: stained

| Distance (Feet) | Code | | Continuous defect | Value | | | Joint | Circumferential Location | | Image Ref. | Struct. Grade | O&M Grade | Remarks | |
|-----------------|------------------|-------------------|-------------------|-------|-----|-----|-------|--------------------------|-----------|------------|---------------|-----------|---|----|
| | Group/Descriptor | Modifier/severity | | S/M/L | | | | % | At / From | | | | | To |
| | | | | | 1st | 2nd | | | | | | | | |
| 0.3 | AMH | | | | | | | | AMH@0.3 | | | | Starting Manhole: CB 1 zoom upsteam at plug end of line, plugged | |
| 0.3 | MWL | | | | 10 | | | | MWL@0.3 | | | | | |
| 5.9 | IS | | S01 | | | | J | 3 | 9 | IS@5.9 | | | | |
| 53.8 | MGP | | | | | | | | MGP@53.8 | | | | | |
| 53.8 | MSA | | | | | | | | | | | | | |

| Segment | Structural | | | | | | | | | O & M | | | | | | Overall | | | | | | | | |
|---|------------|---------|---------|---------|---------|--------|-------|-------|---------|---------|---------|---------|---------|--------|-------|---------|---------|---------|---------|---------|---------|--------|-------|-------|
| | Grade 1 | Grade 2 | Grade 3 | Grade 4 | Grade 5 | Rating | Quick | Index | Grade 1 | Grade 2 | Grade 3 | Grade 4 | Grade 5 | Rating | Quick | Index | Grade 1 | Grade 2 | Grade 3 | Grade 4 | Grade 5 | Rating | Quick | Index |
| 20231215--00 56--15 Ocean Ave--Retention area-- | 0 | 0 | 0 | 0 | 0 | 0 | 0000 | | 0 | 0 | 0 | 0 | 0 | 0 | 0000 | | 0 | 0 | 0 | 0 | 0 | 0 | 0000 | |



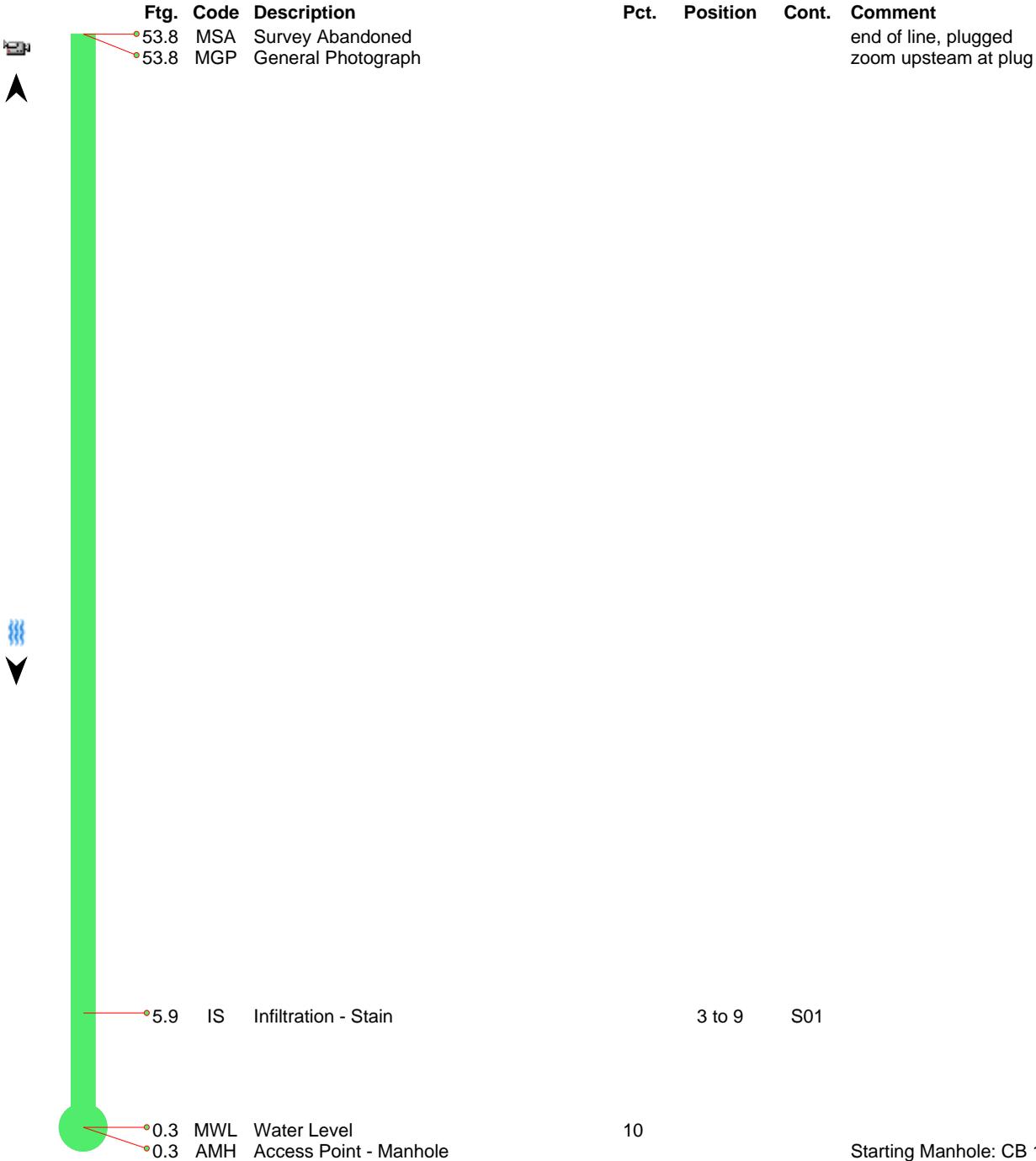
Zoom Drain - New England
 39 Immersion Dr. Suite 1
 Scarborough, ME 04074
 207-854-6537

| | | | | | |
|--------------------------------------|------------------------------|-------------------|-------------------------------|---------------------|----------------------------------|
| Upstream MH Retention area | Downstream MH CB 1 | Size 30 | Material Steel Pipe | Total Length | City Kennebunkport, ME |
|--------------------------------------|------------------------------|-------------------|-------------------------------|---------------------|----------------------------------|

| | | | |
|---|--|---------------------------------------|---|
| Surveyor's Name Brock Bragdon | Certificate Number U-613-16827 | Street Address 15 Ocean Ave | Location Details side of road |
|---|--|---------------------------------------|---|

| | | | | | |
|------------------------------|---|-----------------------|-------------------------|----------------------|--------------------------------|
| Direction Upstream | Purpose Infiltration/Inflow Investigation | Weather Dry | Date 20231215 | Time 00:56 | Length Surveyed 53.8 |
|------------------------------|---|-----------------------|-------------------------|----------------------|--------------------------------|

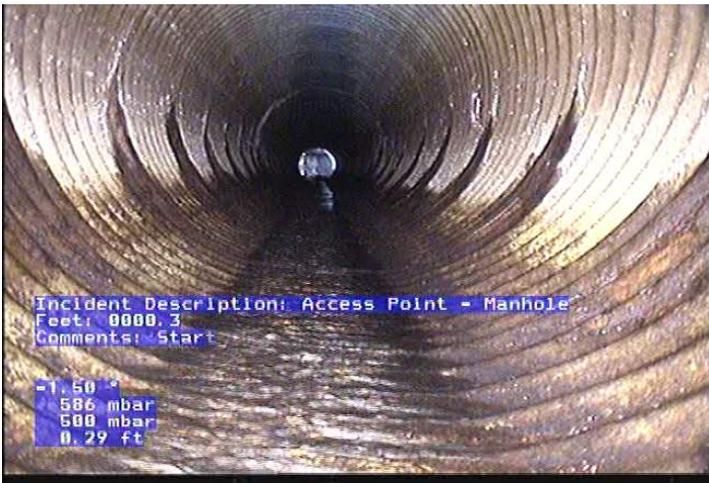
Additional Information
 Inclination +/- 1: stained





Zoom Drain - New England
 39 Immersion Dr. Suite 1
 Scarborough, ME 04074
 207-854-6537

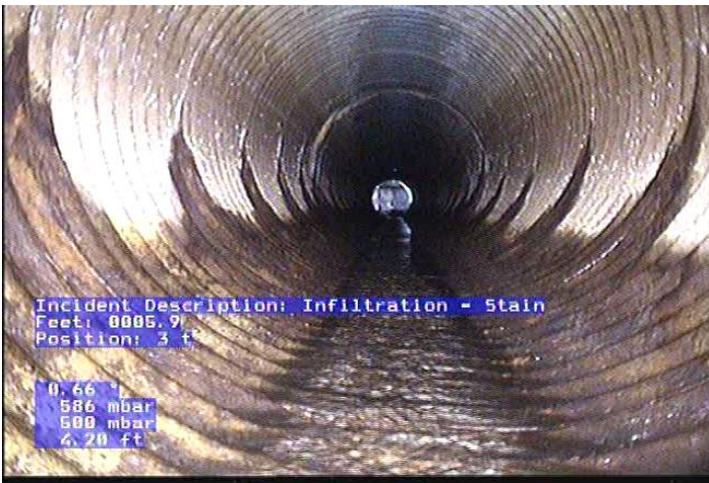
| | | | | | |
|---|---|--|---------------------------------------|----------------------|---|
| Upstream MH Retention area | Downstream MH CB 1 | Size 30 | Material Steel Pipe | Total Length | City Kennebunkport, ME |
| Surveyor's Name Brock Bragdon | | Certificate Number U-613-16827 | Street Address 15 Ocean Ave | | Location Details side of road |
| Direction Upstream | Purpose Infiltration/Inflow Investigation | Weather Dry | Date 20231215 | Time 00:56 | Length Surveyed 53.8 |
| Additional Information Inclination +/- 1: stained | | | | | |



AMH - Access Point - Manhole @ 0.3 ft.
 Starting Manhole: CB 1



MWL - Water Level @ 0.3 ft.



IS - Infiltration - Stain @ 5.9 ft.



MGP - General Photograph @ 53.8 ft.
 zoom upsteam at plug



Zoom Drain - New England
 39 Immersion Dr. Suite 1
 Scarborough, ME 04074
 207-854-6537

| | | | | | |
|---|---|---------------------------------------|-------------------------------|---|----------------------------------|
| Upstream MH Retention area | Downstream MH CB 1 | Size 30 | Material Steel Pipe | Total Length | City Kennebunkport, ME |
| Surveyor's Name Brock Bragdon | Certificate Number U-613-16827 | Street Address 15 Ocean Ave | | Location Details side of road | |
| Direction Upstream | Purpose Infiltration/Inflow Investigation | Weather Dry | Date 20231215 | Time 00:56 | Length Surveyed 53.8 |
| Additional Information | | | | | |
| Inclination +/- 1: stained | | | | | |



MSA - Survey Abandoned @ 53.8 ft. end of line, plugged



Surveyors name Brock Bragdon
 Certificate Number U-613-16827
 System Owner Town of Kennebunkport
 Survey Customer Kennebunkport Wastewater
 Drainage Area
 Sheet 1

P/O No.
Pipeline Segment Reference CB 1 to outfall
Date 20231215
Time 02:48
Location (Street Name and number) 15 Ocean Ave
Locality Kennebunkport, ME

Further Location details side of road
Upstream Manhole Number CB 1
Rim to Invert
Grade to Invert
Rim to Grade

Downstream Manhole Number Outfall
Rim to Invert
Grade to Invert
Rim to Grade
Use of Sewer Stormwater
Direction Downstream
Flow Control P
Height 30

Width 30
Shape Circular
Material SP
Ln. Method
Pipe Joint Length
Total Length
Length Surveyed 79.8
Year Laid
Year Rehabilitated
Tape / Media Number

Purpose B
Sewer Category
Pre-Cleaning No Pre-Cleaning
Date Cleaned
Weather Dry
Additional Information Inclination +/- 1: seaweed, deformed

| Distance (Feet) | Code | | Continuous defect | Value | | | Joint | Circumferential Location | | Image Ref. | Struct. Grade | O&M Grade | Remarks | |
|-----------------|------------------|-------------------|-------------------|-------|-----|-----|-------|--------------------------|-----------|------------|---------------|--|---------|----|
| | Group/Descriptor | Modifier/severity | | S/M/L | | | | % | At / From | | | | | To |
| | | | | | 1st | 2nd | | | | | | | | |
| 0.0 | AMH | | | | | | | | AMH@0 | | | Starting Manhole: CB 1 | | |
| 0.0 | MWL | | | | | 10 | | | MWL@0 | | | | | |
| 10.1 | OBZ | | | | | 10 | 4 | 8 | OBZ@10.1 | | 2 | storm material | | |
| 74.4 | DV | | | | | 10 | | | DV@74.4 | 5 | | | | |
| 79.8 | MGP | | | | | | | | MGP@79.8 | | | zoom upstream | | |
| 79.8 | MSA | | | | | | | | | | | bottom of pipe is gone, unsafe to continue | | |

| Segment | Structural | | | | | | | | | O & M | | | | | | Overall | | | | | | | | |
|--|------------|---------|---------|---------|---------|--------|-------|-------|---------|---------|---------|---------|---------|--------|-------|---------|---------|---------|---------|---------|---------|--------|-------|-------|
| | Grade 1 | Grade 2 | Grade 3 | Grade 4 | Grade 5 | Rating | Quick | Index | Grade 1 | Grade 2 | Grade 3 | Grade 4 | Grade 5 | Rating | Quick | Index | Grade 1 | Grade 2 | Grade 3 | Grade 4 | Grade 5 | Rating | Quick | Index |
| 20231215--02 48--15 Ocean Ave--CB 1--Outfall | 0 | 0 | 0 | 0 | 5 | 5 | 5100 | 5.0 | 0 | 2 | 0 | 0 | 0 | 2 | 2100 | 2.0 | 0 | 2 | 0 | 0 | 5 | 7 | 5121 | 3.5 |



Zoom Drain - New England
 39 Immersion Dr. Suite 1
 Scarborough, ME 04074
 207-854-6537

| | | | | | |
|----------------------------|---------------------------------|-------------------|-------------------------------|---------------------|----------------------------------|
| Upstream MH CB 1 | Downstream MH Outfall | Size 30 | Material Steel Pipe | Total Length | City Kennebunkport, ME |
|----------------------------|---------------------------------|-------------------|-------------------------------|---------------------|----------------------------------|

| | | | |
|---|--|---------------------------------------|---|
| Surveyor's Name Brock Bragdon | Certificate Number U-613-16827 | Street Address 15 Ocean Ave | Location Details side of road |
|---|--|---------------------------------------|---|

| | | | | | |
|--------------------------------|---|-----------------------|-------------------------|----------------------|--------------------------------|
| Direction Downstream | Purpose Infiltration/Inflow Investigation | Weather Dry | Date 20231215 | Time 02:48 | Length Surveyed 79.8 |
|--------------------------------|---|-----------------------|-------------------------|----------------------|--------------------------------|

Additional Information
 Inclination +/- 1: seaweed, deformed





Zoom Drain - New England
 39 Immersion Dr. Suite 1
 Scarborough, ME 04074
 207-854-6537

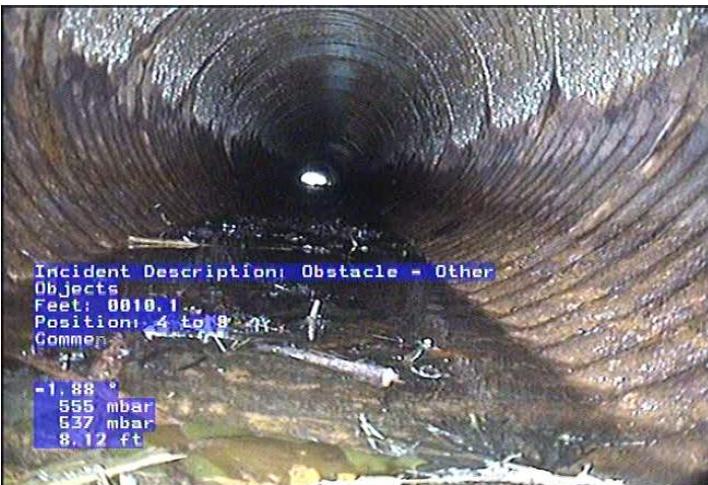
| | | | | | |
|---|---|--|---------------------------------------|----------------------|---|
| Upstream MH CB 1 | Downstream MH Outfall | Size 30 | Material Steel Pipe | Total Length | City Kennebunkport, ME |
| Surveyor's Name Brock Bragdon | | Certificate Number U-613-16827 | Street Address 15 Ocean Ave | | Location Details side of road |
| Direction Downstream | Purpose Infiltration/Inflow Investigation | Weather Dry | Date 20231215 | Time 02:48 | Length Surveyed 79.8 |
| Additional Information Inclination +/- 1: seaweed, deformed | | | | | |



AMH - Access Point - Manhole @ 0.0 ft.
 Starting Manhole: CB 1



MWL - Water Level @ 0.0 ft.



OBZ - Obstacle - Other Objects @ 10.1 ft.
 storm material



DV - Deformed Vertically @ 74.4 ft.



Zoom Drain - New England
 39 Immersion Dr. Suite 1
 Scarborough, ME 04074
 207-854-6537

| | | | | | |
|---|---|---------------------------------------|-------------------------------|---|----------------------------------|
| Upstream MH CB 1 | Downstream MH Outfall | Size 30 | Material Steel Pipe | Total Length | City Kennebunkport, ME |
| Surveyor's Name Brock Bragdon | Certificate Number U-613-16827 | Street Address 15 Ocean Ave | | Location Details side of road | |
| Direction Downstream | Purpose Infiltration/Inflow Investigation | Weather Dry | Date 20231215 | Time 02:48 | Length Surveyed 79.8 |
| Additional Information Inclination +/- 1: seaweed, deformed | | | | | |



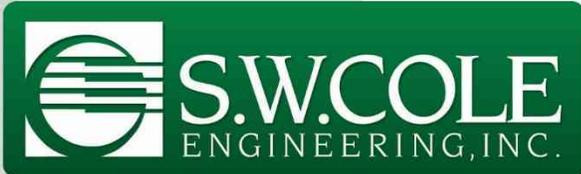
MGP - General Photograph @ 79.8 ft.
zoom upstream



MSA - Survey Abandoned @ 79.8 ft.
bottom of pipe is gone, unsafe to continue

APPENDIX B: SURVEY

APPENDIX C: GEOTECHNICAL REPORT



REPORT

23-1493 S

January 23, 2024

Explorations and Geotechnical Engineering Services

Proposed Ocean Avenue Reconstruction
Kennebunkport, Maine

Prepared For:

Woodard & Curran
Attention: Caitlin Glass, P.E.
12 Mountfort Street
Portland, ME 04101

Prepared By:

S. W. Cole Engineering, Inc.
286 Portland Road
Gray, ME 04039
T: 207-657-2866

www.swcole.com | info@swcole.com

TABLE OF CONTENTS

| | |
|--|----|
| 1.0 INTRODUCTION | 1 |
| 1.1 Scope and Purpose | 1 |
| 1.2 Site and Proposed Construction | 1 |
| 2.0 EXPLORATION AND TESTING | 2 |
| 2.1 Explorations | 2 |
| 2.2 Field Testing | 2 |
| 2.3 Laboratory Testing | 3 |
| 3.0 SUBSURFACE CONDITIONS | 3 |
| 3.1 Soil and Bedrock | 3 |
| 3.2 Groundwater | 4 |
| 4.0 EVALUATION AND RECOMMENDATIONS | 4 |
| 4.1 General Findings | 4 |
| 4.2 Settlement Evaluation | 5 |
| 4.3 Site and Subgrade Preparation | 6 |
| 4.4 Excavation and Dewatering | 6 |
| 4.5 Culvert Head Wall Foundations | 7 |
| 4.6 Fill, Backfill and Compaction | 8 |
| 4.7 Weather Considerations | 9 |
| 4.8 Paved Areas | 9 |
| 4.9 Design Review and Construction Testing | 10 |
| 4.10 Recommendations For Additional Study | 10 |
| 5.0 CLOSURE | 11 |

| | |
|------------|-------------------------|
| Appendix A | Limitations |
| Appendix B | Figures |
| Appendix C | Exploration Logs & Key |
| Appendix D | Laboratory Test Results |

23-1493 S

January 23, 2024

Woodard & Curran
Attention: Caitlin Glass, P.E.
12 Mountfort Street
Portland, ME 04101

Subject: Explorations and Geotechnical Engineering Services
Proposed Ocean Avenue Reconstruction
Kennebunkport, Maine

Dear Caitlin:

In accordance with our Proposal, dated July 24, 2023, we have performed subsurface explorations for the subject project. This report summarizes our findings and geotechnical recommendations and its contents are subject to the limitations set forth in Appendix A.

1.0 INTRODUCTION

1.1 Scope and Purpose

The purpose of our services was to obtain subsurface information at the site in order to develop geotechnical recommendations relative to earthwork and pavement associated with the proposed construction. Our scope of services included test boring explorations, soils laboratory testing, a geotechnical analysis of the subsurface findings and preparation of this report.

1.2 Site and Proposed Construction

The site includes a segment of Ocean Avenue in Kennebunkport, Maine beginning just west of the intersection with Sandy Cove Road and extending about 1,000 LF east. The segment of road is currently paved with existing road grades ranging from about elevation 10 to 20 feet (project datum). An underground water utility extends along the roadway.

We understand project planning includes reconstruction of this segment of the road including a new pavement section, raising lower sections of the vertical alignment by as much as approximately 5 feet to alleviate potential flooding, replacing a culvert on the westerly end of the alignment with a coated CMP or corrugated plastic pipe with pre-cast headwalls, and repairing an existing gravel parking lot on the easterly end of the alignment. We understand grade-raise fills may require retaining walls along portions of the alignment. We understand the horizontal road alignment will remain similar to existing conditions.

Existing site features are shown on the “Exploration Location Plan” attached in Appendix B.

2.0 EXPLORATION AND TESTING

2.1 Explorations

Fifteen test borings (B-1 through B-13, including B-4A and B-12A) were made at the site on November 8, 16, and 17, 2023 by S. W. Cole Explorations, LLC. The exploration locations were selected and established in the field by S. W. Cole Engineering, Inc. (S.W.COLE) using measurements from existing site features. The approximate exploration locations are shown on the “Exploration Location Plan” attached in Appendix B. Logs of the explorations and a key to the notes and symbols used on the logs are attached in Appendix C. The elevations shown on the logs were estimated based on topographic information shown on the “Exploration Location Plan”.

2.2 Field Testing

The test borings were drilled using a combination of hollow stem auger and cased wash-boring techniques. The soils were sampled at 2 to 5 foot intervals using a split spoon sampler and Standard Penetration Testing (SPT) methods. Pocket Penetrometer Tests (PPT) were performed where stiffer cohesive soils were encountered. Shelby tube sampling and Vane Shear Testing (VST) were performed where softer cohesive soils were encountered. SPT blow counts, PPT and VST results are shown on the logs.

2.3 Laboratory Testing

Soil samples obtained from the explorations were returned to our laboratory for further classification and testing. The results of two Atterberg Limits tests, five organic content tests, and seven moisture content tests are shown on the boring logs. The results of one one-dimensional consolidation test are attached in Appendix D.

3.0 SUBSURFACE CONDITIONS

3.1 Soil and Bedrock

Underlying a surficial layer of topsoil or pavement, the borings made in higher portions of the road encountered fill overlying relatively shallow refusal surfaces (probable bedrock). The borings made in the lower portions of the road encountered fill overlying native deposits of sand, relic peat and organics, and silty clay, overlying refusal surfaces (probable bedrock). The principal soils encountered at the explorations are summarized below. Not all of the strata were encountered at each exploration; refer to the attached boring logs for more detailed subsurface information.

Fill: Underlying a surficial layer of pavement or topsoil, the borings encountered fill extending to depths ranging from about 3 to 9 feet below ground surface (bgs). The fill consisted of medium dense, brown and dark brown sand with varying portions of silt, gravel, organics, and debris including asphalt.

Relic Beach Deposits: Underlying the fill, borings B-3, B-9, B-10, and B-13 encountered relic beach deposits extending to depths ranging from about 9 to 10 feet bgs. These deposits consisted of loose to medium dense gravel with varying portions of sand and silt.

Relic Marsh and Peat Deposits: Underlying the fill and relic beach deposits, borings B-3, B-4, B-4A, B-5, B-9, B-10, B-12, B-12A, and B-13 encountered relic marsh and peat deposits extending to depths ranging from about 10 to 19 feet bgs. These deposits consisted of layered sands and silts with varying portions of organics, and layers of peat up to about 10 feet thick.

Glaciomarine Soils: Underlying the fill and relic marsh deposits, borings B-3, B-4, B-4A, B-9, B-10, B-12, and B-12A encountered glaciomarine sand, silt and silty clay deposits. At borings B-4, B-4A, B-12, and B-12A, the glaciomarine deposits included layers of relatively

soft gray silty clay up to about 14 feet thick. Vane Shear Testing performed in the gray silty clay indicates undrained shear strengths ranging from about 460 to 770 psf.

Refusal Surfaces: Refusal surfaces (probable bedrock) were encountered in the borings at depths ranging from about 4 to 27 feet bgs. A thin layer of native granular soil or glacial till was encountered overlying the refusal surfaces at some borings. The refusal surfaces were generally shallower in the borings made in higher portions of the road.

3.2 Groundwater

Saturated soils were encountered in the borings at depths ranging from about 2 to 8 feet bgs. Groundwater likely becomes perched on the relatively impervious silts, clays, and refusal surfaces encountered in the test borings. Long term groundwater information is not available. It should be anticipated that groundwater levels will fluctuate tidally and in response to the adjacent marsh level, periods of snowmelt and precipitation, as well as changes in site use.

4.0 EVALUATION AND RECOMMENDATIONS

4.1 General Findings

Based on the subsurface findings, the proposed construction appears feasible from a geotechnical standpoint; however, the site does present some challenges. The principle geotechnical considerations include:

- The borings made where the road apparently crosses headlands encountered existing pavement and road embankment fill, overlying relatively shallow refusal surfaces. The borings made where the road apparently crosses former marsh encountered existing pavement, overlying relic beach deposits, overlying marsh deposits with peat and organics, and silty clay. The peat and clay deposits are compressible and will settle under loading from new grade-raise fills.
- We have evaluated options to mitigate post-construction settlement due to the compressible soils, as follows:

- The peat layers extended up to about 19 feet below ground surface in the test borings. Overexcavation and replacement of the peat will require an extensive braced excavation with continuous dewatering. We anticipate this method is economically infeasible.
- We recommend consideration be given to leaving the existing soils in-place, placing new grade-raise fills, and allowing the primary settlement to occur for up to about one year before final finishes and pavement.
- The existing water main will need to be monitored during settlement. Consideration should be given to replacing the existing water main with flexible HDPE pipe which can tolerate settlement.
- Replacement of the existing cross-culvert should occur after settlement has taken place and prior to final pavement.
- Retaining walls will need to consist of flexible MSE walls to accommodate post-construction settlement. We recommend consideration be given to a wire-form system, such as SierraScape. Installation of permanent retaining walls should also occur after settlement has taken place.
- S.W.COLE should be engaged to provide consulting during the settlement period prior to paving, global slope stability evaluation of road embankments and retaining walls, and subgrade preparation recommendations for the proposed cross-culvert replacement and retaining walls once final site layout and finish grades are established.

4.2 Settlement Evaluation

The post-construction settlement of peat deposits is generally difficult to estimate. Using correlations with laboratory moisture and organic content testing and considering about 3 to 5 feet of new grade-raise fill for the road, we estimate that post-construction settlement could approach 1 to 2 feet where the peat is thickest and overlies compressible clays, transitioning to negligible settlement in the shallower bedrock areas where compressible soils were not encountered in the borings.

4.3 Site and Subgrade Preparation

We recommend that site preparation begin with the construction of an erosion control system to protect adjacent drainage ways and areas outside the construction limits. Existing pavement, organics, roots, and topsoil should be completely removed from areas of proposed fill and construction. As much vegetation as possible should remain outside the construction areas to lessen the potential for erosion and site disturbance.

As discussed, we recommend consideration be given to leaving the existing soils in-place, placing new grade-raise fills, and allowing the primary settlement to occur for up to a year before final finishes and pavement.

Prior to placing new Granular Borrow for grade-raise fills, we recommend road subgrades be compacted with at least 3 passes of 10-ton vibratory roller compactor. Areas that become soft or continue to yield after densification should be removed and replaced with compacted Granular Borrow. Following removal of organics, fill embankments over wet areas should be built by placing a minimum 12 inch lift of free-draining sand and gravel, such as Granular Borrow for Underwater Backfill, followed by compacted Granular Borrow for Embankment Construction.

Beneath pipes and utility structures with soft trench bottoms, we recommend overexcavating with a smooth edged bucket and installing at least 1 foot of Underdrain Sand below customary bedding materials followed by geotextile fabric wrapped customary bedding materials. The depth of customary bedding materials for soft trench bottoms should be at least 12 inches below pipes and 24 inches below structures. We recommend installation of new utilities and structures take place after settlement has occurred.

Peat and organics should be removed from beneath utilities and structures which are intolerant of post-construction settlement; alternatively, these structures or utilities could be supported by helical screw piles.

4.4 Excavation and Dewatering

Excavation work will generally encounter uncontrolled fills, relic beach gravel deposits, and potentially organics and bedrock. Care must be exercised during construction to limit disturbance of the bearing soils. Earthwork and grading activities should occur during

drier, non-freezing weather of Spring, Summer and Fall. Final cuts to subgrade should be performed with a smooth-edged bucket to help reduce strength loss from soil disturbance.

Relatively shallow refusal surfaces (probable bedrock) were encountered in the borings made in higher portions of the road. Depending on final design finish grades for the roadway, utilities, and structures, blasting may be needed for bedrock removal. We recommend a licensed blasting contractor be engaged to provide bedrock removal. Alternatively, hydraulic hoe-ramming may be used to removed bedrock. Pre-blast surveys should be completed on surrounding structures, water supply wells and infrastructure prior to commencing blasting activities.

Vibrations from construction should be controlled below threshold limits of 0.5 in/sec for structures, water supply wells and infrastructure within 500 feet of the project site. More restrictive vibration limits may be warranted in specific cases with sensitive equipment, historic structures or artifacts on-site or within close proximity.

Sumping and pumping dewatering techniques should be adequate to control groundwater in shallow excavations above groundwater. Deep excavations extending below groundwater will likely require braced steel sheetpiling for excavations stability and groundwater cut-off, with continuous pumping. Controlling the water levels to at least one foot below planned excavation depths will help stabilize subgrades during construction. Excavations must be properly shored or sloped in accordance with OSHA Regulations to prevent sloughing and caving of the sidewalls during construction. Care must be taken to preclude undermining adjacent structures, utilities and roadways.

The design and planning of excavations, excavation support systems, and dewatering is the responsibility of the contractor.

4.5 Culvert Head Wall Foundations

We understand the proposed culvert replacement on the westerly side of the road alignment may include precast concrete headwalls. We recommend the proposed headwalls be supported on spread footings founded on at least 12-inches of compacted Crushed Stone fully wrapped in non-woven geotextile fabric, such as Mirafi 180N, bearing on relic beach deposit soils which have been densified with 3 passes of a vibratory plate compactor weight at least 700 pounds. For headwall foundations

bearing on properly prepared subgrades, we recommend the following geotechnical parameters for design consideration:

| Geotechnical Parameters for Culvert Headwalls | |
|--|------------|
| Design Frost Depth (100 year AFI) | 4.5 feet |
| Net Allowable Soil Bearing Pressure | 2.0 ksf |
| Base Friction Factor | 0.35 |
| Total Unit Weight of Backfill | 125 pcf |
| At-Rest Lateral Earth Pressure Coefficient | 0.5 |
| Internal Friction Angle of Backfill | 30° |
| Seismic Soil Site Class | D (ASCE 7) |
| Estimated Total and Differential Settlement | 1-inch |

S.W.COLE should review our recommendations for the proposed culvert head wall after final design locations and finish grades have been established.

4.6 Fill, Backfill and Compaction

We recommend the following fill and backfill materials: recycled products must also be tested in accordance with applicable environmental regulations and approved by a qualified environmental consultant.

Granular Borrow: Fill to raise roadway grades should be sand meeting the requirements of 2020 MaineDOT Standard Specification 703.19 Granular Borrow. Granular Borrow for Underwater Backfill will be required over wet subgrades.

Structural Fill: Backfill for structures should be clean, non-frost susceptible sand and gravel meeting the gradation requirements for Structural Fill as given below:

| Structural Fill | |
|------------------------|--------------------------------|
| Sieve Size | Percent Finer by Weight |
| 4 inch | 100 |
| 3 inch | 90 to 100 |
| ¼ inch | 25 to 90 |
| No. 40 | 0 to 30 |
| No. 200 | 0 to 6 |

Crushed Stone: Crushed Stone used beneath foundations should be washed ¾-inch crushed stone meeting the requirements of 2020 MaineDOT Standard Specification 703.13 Crushed Stone ¾-Inch.

Underdrain Sand: Sand used beneath bedding materials in soft trench bottoms should be clean, free-draining sand meeting the requirements of 2020 MaineDOT Standard Specification 703.22 Underdrain Backfill Material Type B.

Reuse of Site Soils: Portions of the existing fill, free from organics and deleterious material, appear suitable for reuse as Granular Borrow provided they are at a compactable moisture content at the time of reuse.

Placement and Compaction: Fill should be placed in horizontal lifts and compacted such that the desired density is achieved throughout the lift thickness with 3 to 5 passes of the compaction equipment. Loose lift thicknesses for grading, fill and backfill activities should not exceed 12 inches. We recommend that fill and backfill in paved areas be compacted to at least 95 percent of its maximum dry density as determined by ASTM D-1557. Crushed Stone should be compacted with 3 to 5 passes of a vibratory plate compactor having a static weight of at least 500 pounds.

4.7 Weather Considerations

Construction activity should be limited during wet and freezing weather and the site soils may require drying or thawing before construction activities may continue. The contractor should anticipate the need for water to temper fills in order to facilitate compaction during dry weather. If construction takes place during cold weather, subgrades must be protected during freezing conditions. Fill must not be placed on frozen soil.

4.8 Paved Areas

We anticipate paved areas will be subjected primarily to passenger vehicle and light delivery truck traffic with occasional heavy truck traffic. Considering the site soils, and proposed usage, we offer the following pavement section for consideration.

| FLEXIBLE (HMA) PAVEMENT SECTION – 2020 MaineDOT Standard Specs | |
|---|---------------------------|
| Pavement Layer | Material Thickness |
| MaineDOT 9.5 mm Hot Mix Asphalt | 1 ½ inches |
| MaineDOT 19.0 mm Hot Mix Asphalt | 2 ½ inches |
| MaineDOT 703.06 Aggregate Base Type A | 6 inches |
| MaineDOT 703.06 Aggregate Subbase Type D | 15 inches |

The base and subbase materials should be compacted to at least 95 percent of their maximum dry density as determined by ASTM D-1557. Hot mix asphalt pavement should be compacted to 92 to 97 percent of its theoretical maximum density as determined by ASTM D-2041. A tack coat should be used between successive lifts of bituminous pavement.

It should be understood that frost penetration can be on the order of 4.5 feet in this area. In the absence of full depth excavation of frost susceptible soils below paved areas and subsequent replacement with non-frost susceptible compacted fill, frost penetration into the subgrade will occur and some heaving and distress of pavement must be anticipated.

4.9 Design Review and Construction Testing

S.W.COLE should be retained to review the construction documents prior to bidding to determine that our earthwork and pavement recommendations have been properly interpreted and implemented.

A construction materials testing and quality assurance program should be implemented during construction to observe compliance with the design concepts, plans, and specifications. S.W.COLE is available to observe earthwork activities, the preparation of pavement subgrades, as well as to provide testing and inspection services for soils, concrete, and asphalt construction materials.

4.10 Recommendations For Additional Study

S.W. COLE should be engaged to review our recommendations and provide geotechnical consulting during the settlement period, global slope stability evaluation of road embankments and retaining walls, and subgrade preparation recommendations for the

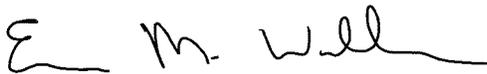
proposed cross-culvert replacement and retaining walls once final site layout and finish grades are established.

5.0 CLOSURE

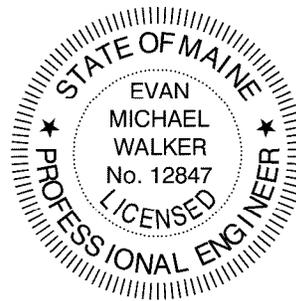
It has been a pleasure to be of assistance to you with this phase of your project. We look forward to working with you during the construction phase of the project.

Sincerely,

S. W. Cole Engineering, Inc.

A handwritten signature in black ink that reads 'E M Walker'.

Evan M. Walker, P.E.
Senior Geotechnical Engineer



EMW:tjb/rec

APPENDIX A

Limitations

This report has been prepared for the exclusive use of Woodard & Curran, Inc. for specific application to the proposed Ocean Avenue Reconstruction in Kennebunkport, Maine. S. W. Cole Engineering, Inc. (S.W.COLE) has endeavored to conduct our services in accordance with generally accepted soil and foundation engineering practices. No warranty, expressed or implied, is made.

The soil profiles described in the report are intended to convey general trends in subsurface conditions. The boundaries between strata are approximate and are based upon interpretation of exploration data and samples.

The analyses performed during this investigation and recommendations presented in this report are based in part upon the data obtained from subsurface explorations made at the site. Variations in subsurface conditions may occur between explorations and may not become evident until construction. If variations in subsurface conditions become evident after submission of this report, it will be necessary to evaluate their nature and to review the recommendations of this report.

Observations have been made during exploration work to assess site groundwater levels. Fluctuations in water levels will occur due to variations in rainfall, temperature, and other factors.

S.W.COLE's scope of services has not included the investigation, detection, or prevention of any Biological Pollutants at the project site or in any existing or proposed structure at the site. The term "Biological Pollutants" includes, but is not limited to, molds, fungi, spores, bacteria, and viruses, and the byproducts of any such biological organisms.

Recommendations contained in this report are based substantially upon information provided by others regarding the proposed project. In the event that any changes are made in the design, nature, or location of the proposed project, S.W.COLE should review such changes as they relate to analyses associated with this report. Recommendations contained in this report shall not be considered valid unless the changes are reviewed by S.W.COLE.

APPENDIX B

Figures



20-1-68
SECKINGER
PROPERTIES,
BK.17346 PG.2

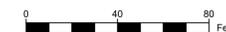


LEGEND:

 APPROXIMATE BORING LOCATION

NOTES:

1. EXPLORATION LOCATION PLAN WAS PREPARED FROM A SCALE PLAN OF THE SITE PROVIDED BY WOODARD & CURRAN, RECEIVED VIA E-MAIL 11/29/2023 AND IMAGERY ENTITLED "MAINE ORTHOIMAGERY REGIONAL 2018," PROVIDED BY MEGIS.
2. THE BORINGS WERE LOCATED IN THE FIELD BY S. W. COLE ENGINEERING, INC. USING A MAPPING GRADE GPS RECEIVER.
3. THIS PLAN SHOULD BE USED IN CONJUNCTION WITH THE ASSOCIATED S. W. COLE ENGINEERING, INC. GEOTECHNICAL REPORT.
4. THE PURPOSE OF THIS PLAN IS ONLY TO DEPICT THE LOCATION OF THE EXPLORATIONS IN RELATION TO THE EXISTING CONDITIONS AND PROPOSED CONSTRUCTION AND IS NOT TO BE USED FOR CONSTRUCTION.



WOODARD & CURRAN, INC.
EXPLORATION LOCATION PLAN
PROPOSED OCEAN AVENUE IMPROVEMENTS
KENNEBUNKPORT, ME

Job No.: 23-1493 Scale: 1" = 40'
Date: 12/01/2023 Sheet: 1

R:\2023\23-1493\CAD\Drawings\23-1493-1.dwg, 12/1/2023 9:52:13 AM, CEM, S. W. Cole Engineering, Inc.

APPENDIX C

Exploration Logs and Key



BORING LOG

BORING NO.: B-2
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/17/2023
DATE FINISH: 11/17/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 11.5' +/- **TOTAL DEPTH (FT):** 9.0 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A /N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): ▽ 8 ft Soils Wet to Saturated Below 8' +/-

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
 ▽ At time of Drilling D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
 ▽ At Completion of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
 ▽ After Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
 V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks |
|---------------------|------------|-------------------|--------------------|-------|------------|-----------------|-------------------|-------------|---|------------------------|---------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | |
| 10 | 5 | | 1D | 1-3 | 24/14 | 14-17-16-18 | | 0.7 | 8.5" Asphalt Pavement | | |
| | | | 2D | 3-5 | 24/3 | 6-8-4-7 | | | Dense to medium dense, brown and dark brown, silty SAND AND GRAVEL (FILL) | | |
| | | | 3D | 5-7 | 24/15 | 5-8-11-12 | | | | | |
| 5 | | | 4D | 7-8.9 | 23/12 | 10-13-19-50/5" | | | | | |
| Refusal at 9.0 feet | | | | | | | | | | | |

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-2



BORING LOG

BORING NO.: B-3
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 10' +/- **TOTAL DEPTH (FT):** 26.9 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): ▽ 2.5 ft Soils Wet to Saturated Below 2.5'

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
 ▽ At time of Drilling D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
 ▽ At Completion of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
 ▽ After Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
 V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks |
|------------|------------|-------------------|--------------------|---------|------------|-----------------|---------------------------|---|------------------------|---------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | | | | |
| | | | 1D | 1-3 | 24/16 | 15-13-14-13 | | 0.7 8" Asphalt Pavement | | |
| | | | 2D | 3-5 | 24/12 | 13-10-7-5 | | Medium dense, brown, gravelly SAND, some silt, with asphalt (FILL) | ▽ | |
| 5 | 5 | | 3D | 5-7 | 24/4 | 1-2-3-3 | | 5.0 Loose to medium dense, dark brown, silty sandy GRAVEL (Probable Relic Gravel Beach) | | |
| | | | 4D | 7-9 | 24/6 | 3-10-24-6 | | | | |
| 0 | 10 | | 5D | 10-12 | 24/18 | 5-4-4-4 | | 9.0 Loose, gray to gray-brown, fine SAND, some silt, with gravelly seams, trace scattered organics and organic partings | | |
| | | | 6D | 12-14 | 24/16 | 2-3-2-2 | | | | |
| -5 | 15 | | 7D | 15-17 | 24/22 | 1-2-2-3 | w = 286.6 % O = 29.4 % | 15.4 Loose, dark brown, PEAT, with occasional silt partings | | |
| | | | 8D | 17-19 | 24/18 | 3-2-6-6 | | | | |
| -10 | 20 | | 9D | 20-22 | 24/18 | 3-5-5-5 | q _p = 5 ksf | 18.5 Medium dense, gray, SILT AND FINE SAND | | |
| | | | | | | | | 20.0 Loose, gray, gravelly silty SAND | | |
| | | | | | | | | 21.5 Very stiff to stiff, gray-brown, silty CLAY | | |
| -15 | 25 | | 10D | 25-26.9 | 23/15 | 3-4-11-50/5" | | 25.0 Medium dense, gray, SAND, some silt, some gravel | | |
| | | | | | | | | 26.0 Medium dense, gray, sandy silty GRAVEL (Till) | | |

Refusal at 26.9 feet

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-3



BORING LOG

BORING NO.: B-4
SHEET: 1 of 2
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 8' +/- **TOTAL DEPTH (FT):** 42.1 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): ± 2 ft Soils Wet to Saturated Below 2' +/-

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
▽ At time of Drilling
▽ At Completion of Drilling
▽ After Drilling

D = Split Spoon Sample
U = Thin Walled Tube Sample
R = Rock Core Sample
V = Field Vane Shear

Pen. = Penetration Length
Rec. = Recovery Length
bpf = Blows per Foot
mpf = Minute per Foot

WOR = Weight of Rods
WOH = Weight of Hammer
RQD = Rock Quality Designation
PID = Photoionization Detector

S_v = Field Vane Shear Strength, kips/sq.ft.
q_u = Unconfined Compressive Strength, kips/sq.ft.
Ø = Friction Angle (Estimated)
N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | Field / Lab Test Data | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks |
|------------|------------|-------------------|--------------------|-------|------------|-----------------|---------------------------|-------------|---|------------------------|---------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | | | | | |
| | | | | | | | | 0.4 | 5" Asphalt Pavement | | |
| | | | 1D | 1-3 | 24/15 | 10-10-5-5 | | | Medium dense, brown to dark brown, silty gravelly SAND, some silt (FILL) | ▽ | |
| | 5 | | 2D | 3-5 | 24/6 | 3-8-7-7 | | 3.3 | WOOD | | |
| | 5 | | 3D | 5-7 | 24/8 | 10-15-10-7 | | 5.0 | Medium dense, dark brown, silty sandy GRAVEL, with trace organics | | |
| | 0 | | 4D | 7-9 | 24/16 | 5-3-2-1 | | 7.0 | Loose, dark gray-brown, SAND, some silt, trace gravel | | |
| | 10 | | 5D | 10-12 | 24/20 | 1-1-2-2 | | 8.2 | Very loose, dark brown, silty SAND and PEAT | | |
| | 10 | | 6D | 12-14 | 24/20 | 2-2-2-2 | | 10.0 | Very loose, gray, fine SAND, trace silt, with shells, peat seams up to 0.5" thick | | |
| | -5 | | 7D | 15-17 | 24/18 | 1/12"-2-1 | w = 271.1 % O = 25.1 % | 15.5 | PEAT | | |
| | -10 | | 8D | 17-19 | 24/22 | 2-7-9-10 | | 17.0 | Layered, loose, dark brown SAND some silt, and PEAT | | |
| | -10 | | 9D | 20-22 | 24/8 | 1-5-4-4 | | 18.5 | Medium dense, gray, silty SAND, trace gravel | | |
| | -20 | | 10D | 25-27 | 24/24 | WOH/18" 1 | | 20.0 | Loose, gray, clayey SILT AND SAND, trace fine gravel | | |
| | -25 | | 11D | 30-32 | 24/24 | WOR- WOM/18" | | 25.0 | Medium, gray, silty CLAY | | |
| | -25 | | | | | | | 32-38.6 | ROD PROBE Resistance HYD | | |
| | -30 | | | | | | | 38.6 | ROD PROBE Interpreted Soil Type Silty Clay | | |

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

(Continued Next Page)

BORING NO.: B-4



BORING LOG

BORING NO.: **B-4**
SHEET: 2 of 2
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks |
|------------|------------|-------------------|--------------------|------|------------|-----------------|-------------------|---|-------------------------------------|------------------------|---------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | |
| | | | | | | | | | | | |
| | | | | | | | | Depth Resistance Interpreted Soil Type 38.6-39.6 13 Granular Soils | | | |
| | | | | | | | | 39.6-40.6 12 40.6-41.6 15 41.6-42.1 38 Bottom of Exploration at 42.1 feet | | | |

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: **B-4**



BORING LOG

BORING NO.: B-5
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 10' +/- **TOTAL DEPTH (FT):** 10.9 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): ▽ 4.5 ft Soils Wet to Saturated Below 4.5' +/-

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
 ▽ At time of Drilling D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
 ▽ At Completion of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
 ▽ After Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
 V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks | |
|------------|------------|-------------------|--------------------|------|------------|-----------------|-------------------|-------------|-------------------------------------|---|---------|-----------------------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | | Field / Lab Test Data |
| | | | 1D | ⊗ | 1.2-3.2 | 24/15 | 14-11-7-8 | | 0.7 | 8.5" Asphalt Pavement | | |
| | | | 2D | ⊗ | 3.2-4.7 | 18/2 | 4-4-5 | | | Medium dense, brown, gravelly SAND, some silt (FILL) | | |
| 5 | 5 | | 3D | ⊗ | 5-7 | 24/15 | 11-6-6-4 | | 5.0 | Loose to medium dense, dark brown and gray, silty SAND, trace gravel, with rootlets and peat seams up to 2" thick | | |
| | | | 4D | ⊗ | 7-8.7 | 20/18 | 7-4-8-50/2" | | | | | |
| 0 | 10 | | 5D | ⊗ | 10-10.5 | 6/6 | 50 | | 10.0 | Probable Weathered Bedrock | | |

Refusal at 10.9 feet

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-5



BORING LOG

BORING NO.: B-8
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 14.5' +/- **TOTAL DEPTH (FT):** 6.6 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): Soils Moist Below 5', No Free Water Observed

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
 At time of Drilling D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
 At Completion of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
 After Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
 After Drilling V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks | |
|---------------------|------------|-------------------|--------------------|------|------------|-----------------|-------------------|-------------|-------------------------------------|---|---------|-----------------------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | | Field / Lab Test Data |
| 10 | 5 | | 1D | Δ | 1.4-3.4 | 24/10 | 18-15-12-7 | | 0.9 | 11" Asphalt Pavement | | |
| | | | 2D | Δ | 3.4-4.9 | 18/2 | 4-5-6 | | | Medium dense, brown, gravelly SAND, some silt (FILL) | | |
| | | | 3D | Δ | 5-6.6 | 19/12 | 4-5-23-50/1" | | 5.0 | Medium dense, dark orange-brown, SILT AND SAND, trace gravel, with trace roots and organics | | |
| Refusal at 6.6 feet | | | | | | | | | | | | |

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-8



BORING LOG

BORING NO.: B-9
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 11' +/- **TOTAL DEPTH (FT):** 19.5 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): ∇ 6 ft Soils Wet to Saturated Below 6' +/-

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
∇ At time of Drilling D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
▼ At Completion of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
▼ After Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks |
|------------|------------|-------------------|--------------------|-------|------------|-----------------|-------------------------|--|-------------------------------------|------------------------|---------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | |
| 10 | | | 1D | 1-3 | 24/10 | 9-12-10-9 | | 0.6 7.5" Asphalt Pavement | | | |
| | | | 2D | 3-5 | 24/3 | 9-7-7-8 | | Medium dense, brown, silty gravelly SAND (FILL) | | | |
| 5 | | | 3D | 5-7 | 24/0 | 7-12-14-11 | | 5.0 Medium dense, dark brown, silty sandy GRAVEL (Relic Beach) | ∇ | | |
| | | | 4D | 7-9 | 24/2 | 11-13-11-10 | | | | | |
| | 10 | | 5D | 10-12 | 24/22 | 1-1-1-1 | | 10.0 Loose, dark brown, PEAT | | | |
| | | | 6D | 12-14 | 24/24 | | | | | | |
| | 15 | | 7D | 15-17 | 24/22 | WOH-1-2-3 | q _p =2-3 ksf | 15.5 Loose, gray, silty fine SAND, with silt seams, trace organics | | | |
| | | | | | | | | 16.5 Stiff, gray, silty CLAY | | | |

Refusal at 19.5 feet

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-9



BORING LOG

BORING NO.: B-10
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 11' +/- **TOTAL DEPTH (FT):** 19.4 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): ∇ 6.5 ft Soils Saturated Below 6.5' +/-

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
∇ At time of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
∇ At Completion of Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
∇ After Drilling V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks | |
|------------|------------|-------------------|--------------------|------|------------|-----------------|-------------------|----------------------------|-------------------------------------|--|---------|-----------------------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | | Field / Lab Test Data |
| 10 | | | 1D | ∇ | 1.2-3.2 | 24/14 | 15-25-15-17 | | 0.7 | 8" Asphalt Pavement | | |
| | | | 2D | ∇ | 3.2-5.2 | 24/8 | 34-20-13-7 | | 3.0 | Medium dense to dense, brown, gravelly SAND, trace silt (FILL) | | |
| 5 | 5 | | 3D | ∇ | 5.2-7.2 | 24/6 | 12-13-9-8 | | 5.0 | Medium dense to dense, gray-brown, SAND AND GRAVEL, some silt (FILL) | | |
| | | | 4D | ∇ | 7.2-9.2 | 24/4 | | | | Medium dense, dark brown, silty sandy GRAVEL (Relic Beach) | ∇ | |
| | 10 | | 5D | ∇ | 10-12 | 24/22 | 1-1-2-1 | | 10.0 | Very loose, dark brown, PEAT | | |
| 0 | | | 6D | ∇ | 12-14 | 24/24 | | w = 333.6 % O = 30.9 % | | | | |
| | 15 | | 7D | ∇ | 15-17 | 24/24 | 4-5-7-8 | q _p = 6.5-9 ksf | 15.0 | Very stiff to stiff, gray-brown, silty CLAY | | |

Refusal at 19.4 feet

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-10



BORING LOG

BORING NO.: B-11
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/16/2023
DATE FINISH: 11/16/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 14' +/- **TOTAL DEPTH (FT):** 7.2 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Kevin Hanscom **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): No Free Water Observed

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
 ▽ At time of Drilling D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
 ▽ At Completion of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
 ▽ After Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
 V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks |
|---------------------|------------|-------------------|--------------------|------|------------|-----------------|-------------------|-------------|--|------------------------|---------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | |
| 10 5 | | | 1D | ⊗ | 0.8-2.8 | 24/14 | 22-26-15-12 | | 0.6 7.5" Asphalt Pavement | | |
| | | | 2D | ⊗ | 2.8-4.8 | 24/4 | 11-11-12-7 | | 3.0 Dense to medium dense, brown, SAND AND GRAVEL, some silt (FILL) | | |
| | | | 3D | ⊗ | 5-7 | 24/8 | 3-3-7-11 | | Loose to medium dense, brown, gravelly SAND, trace silt (FILL) | | |
| Refusal at 7.2 feet | | | | | | | | | | | |

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-11



BORING LOG

BORING NO.: B-12
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/8/2023
DATE FINISH: 11/8/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 11' +/- **TOTAL DEPTH (FT):** 37.0 **LOGGED BY:** Ian Reilly
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** Ryan Hackett **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic **HAMMER WEIGHT (lbs):** 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30
WATER LEVEL DEPTHS (ft): ± 6 ft Soils Saturated Below 6' +/-

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
∇ At time of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
∇ At Completion of Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
∇ After Drilling V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks | |
|------------|------------|-------------------|------------------------------------|------|------------|-----------------|-------------------|---------------------------|---|------------------------|---------|-----------------------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | | Field / Lab Test Data |
| 10 | | | 1D | X | 0-2 | 24/18 | 8-12-14-14 | | Medium dense to dense, light brown, SAND and GRAVEL, some silt (FILL) | | | |
| | | | 2D | X | 2-4 | 24/26 | 41-16-17-15 | | | | | |
| 5 | 5 | | 3D | X | 5-7 | 24/15 | 16-11-9-8 | | Medium dense, light brown, silty sandy GRAVEL (FILL) | ∇ | | |
| | | | 4D | X | 10-12 | 24/1 | 4-3-2-2 | | Loose, dark brown PEAT, occasional sand seams | | | |
| | | | 5D | X | 15-17 | 24/19 | 2-1-2-2 | w = 213.2 % O = 20.1 % | | | | |
| -5 | 15 | | 6D | X | 20-22 | 24/24 | 5-6-7-9 | q _p = 5-7 ksf | Stiff, gray, silty CLAY | | | |
| | | | 7D | X | 25-27 | 24/24 | WOH/24" | | Soft, gray, silty CLAY | | | |
| -10 | 20 | | 8D | X | 30-32 | 24/24 | WOH/18" 10 | | | | | |
| | | | 9D | X | 35-37 | 24/12 | 11-10-15-6 | | Medium dense, gravelly silty SAND | | | |
| | | | Bottom of Exploration at 37.0 feet | | | | | | | | | |

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-12



BORING LOG

BORING NO.: B-13
SHEET: 1 of 1
PROJECT NO.: 23-1493
DATE START: 11/17/2023
DATE FINISH: 11/17/2023

CLIENT: Woodard & Curran
PROJECT: Proposed Ocean Avenue Reconstruction
LOCATION: Ocean Avenue, Kennebunkport, Maine

Drilling Information

LOCATION: See Exploration Location Plan **ELEVATION (FT):** 10' +/- **TOTAL DEPTH (FT):** 27.0 **LOGGED BY:** Evan Walker
DRILLING CO.: S. W. Cole Explorations, LLC **DRILLER:** S. W. Cole Explorations, LLC **DRILLING METHOD:** Hollow Stem Auger
RIG TYPE: Track Mounted Diedrich D-50 **AUGER ID/OD:** 2 1/4 in / 5 5/8 in **SAMPLER:** Standard Split-Spoon
HAMMER TYPE: Automatic / Automatic **HAMMER WEIGHT (lbs):** 140 / 140 **CASING ID/OD:** N/A / N/A **CORE BARREL:** N/A
HAMMER CORRECTION FACTOR: _____ **HAMMER DROP (inch):** 30 / 30
WATER LEVEL DEPTHS (ft): ∇ 7 ft Soils Saturated Below 7' +/-

GENERAL NOTES:

KEY TO NOTES AND SYMBOLS: Water Level
∇ At time of Drilling D = Split Spoon Sample Pen. = Penetration Length WOR = Weight of Rods S_v = Field Vane Shear Strength, kips/sq.ft.
∇ At Completion of Drilling U = Thin Walled Tube Sample Rec. = Recovery Length WOH = Weight of Hammer q_u = Unconfined Compressive Strength, kips/sq.ft.
∇ After Drilling R = Rock Core Sample bpf = Blows per Foot RQD = Rock Quality Designation Ø = Friction Angle (Estimated)
V = Field Vane Shear mpf = Minute per Foot PID = Photoionization Detector N/A = Not Applicable

| Elev. (ft) | Depth (ft) | Casing Pen. (bpf) | SAMPLE INFORMATION | | | | | Graphic Log | Sample Description & Classification | H ₂ O Depth | Remarks | |
|------------|------------|-------------------|--------------------|------|------------|-----------------|-------------------|---------------------------|-------------------------------------|---|---------|-----------------------|
| | | | Sample No. | Type | Depth (ft) | Pen./ Rec. (in) | Blow Count or RQD | | | | | Field / Lab Test Data |
| | | | 1D | | 0-2 | 24/2 | 2-2-3-3 | | 0.2 | Vegetation / Topsoil (FILL) | | |
| | | | 2D | | 2-4 | 24/2 | 3-3-4-4 | | | Loose, dark brown, silty sandy GRAVEL, with organics (FILL) | | |
| 5 | 5 | | 3D | | 5-7 | 24/10 | 3-2-8-19 | | 5.0 | Loose to medium dense, dark brown to brown, silty sandy GRAVEL (Probable Relic Gravel Beach or FILL) | ∇ | |
| | | | 4D | | 7-9 | 24/6 | 25-20-10-6 | | | | | |
| 0 | 10 | | 5D | | 10-12 | 24/15 | 6-8-8-4 | | 10.0 | Medium dense to loose, dark gray-brown SAND, some gravel, some silt, with organic seams | | |
| | | | 6D | | 12-14 | 24/16 | 4-2-3-3 | | | | | |
| -5 | 15 | | 7D | | 15-17 | 24/16 | 3-2-2-3 | | 14.0 | Loose, gray, silty SAND, with wood | | |
| | | | 8D | | 17-19 | 24/22 | 3-7-10-5 | w = 179.1 % O = 18.1 % | 15.5 | Loose, dark brown, PEAT | | |
| -10 | 20 | | 9D | | 20-22 | 24/20 | 3-4-4-4 | q _p = 4.5 ksf | 18.0 18.8 | Medium dense, gray, silty fine SAND Layered, gray-brown to gray, layered, very stiff silty CLAY, and loose SILTY SAND trace gravel | | |
| -15 | 25 | | 10D | | 25-27 | 24/16 | 4-5-3-9 | | 25.0 | Loose to medium dense, gray, silty SAND, some gravel | | |

Bottom of Exploration at 27.0 feet

BORING / WELL 10-12-2022 23-1493.GPJ SWCE TEMPLATE.GDT 12/13/23

Stratification lines represent approximate boundary between soil types, transitions may be gradual. Water level readings have been made at times and under conditions stated. Fluctuations of groundwater may occur due to other factors than those present at the time measurements were made.

BORING NO.: B-13

KEY TO NOTES & SYMBOLS
Test Boring and Test Pit Explorations

Stratification lines represent the approximate boundary between soil types and the transition may be gradual.

Key to Symbols Used:

| | | |
|----------------|---|--|
| w | - | water content, percent (dry weight basis) |
| q _u | - | unconfined compressive strength, kips/sq. ft. - laboratory test |
| S _v | - | field vane shear strength, kips/sq. ft. |
| L _v | - | lab vane shear strength, kips/sq. ft. |
| q _p | - | unconfined compressive strength, kips/sq. ft. – pocket penetrometer test |
| O | - | organic content, percent (dry weight basis) |
| W _L | - | liquid limit - Atterberg test |
| W _P | - | plastic limit - Atterberg test |
| WOH | - | advance by weight of hammer |
| WOM | - | advance by weight of man |
| WOR | - | advance by weight of rods |
| HYD | - | advance by force of hydraulic piston on drill |
| RQD | - | Rock Quality Designator - an index of the quality of a rock mass. |
| γ _T | - | total soil weight |
| γ _B | - | buoyant soil weight |

Description of Proportions:

| | |
|--------|------------------|
| Trace: | 0 to 5% |
| Some: | 5 to 12% |
| “Y” | 12 to 35% |
| And | 35+% |
| With | Undifferentiated |

Description of Stratified Soils

| | |
|-------------|-------------------------------------|
| Parting: | 0 to 1/16” thickness |
| Seam: | 1/16” to 1/2” thickness |
| Layer: | ½” to 12” thickness |
| Varved: | Alternating seams or layers |
| Occasional: | one or less per foot of thickness |
| Frequent: | more than one per foot of thickness |

REFUSAL: Test Boring Explorations - Refusal depth indicates that depth at which, in the drill foreman's opinion, sufficient resistance to the advance of the casing, auger, probe rod or sampler was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

REFUSAL: Test Pit Explorations - Refusal depth indicates that depth at which sufficient resistance to the advance of the backhoe bucket was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

Although refusal may indicate the encountering of the bedrock surface, it may indicate the striking of large cobbles, boulders, very dense or cemented soil, or other buried natural or man-made objects or it may indicate the encountering of a harder zone after penetrating a considerable depth through a weathered or disintegrated zone of the bedrock.

APPENDIX D

Laboratory Test Results

Consolidation Test

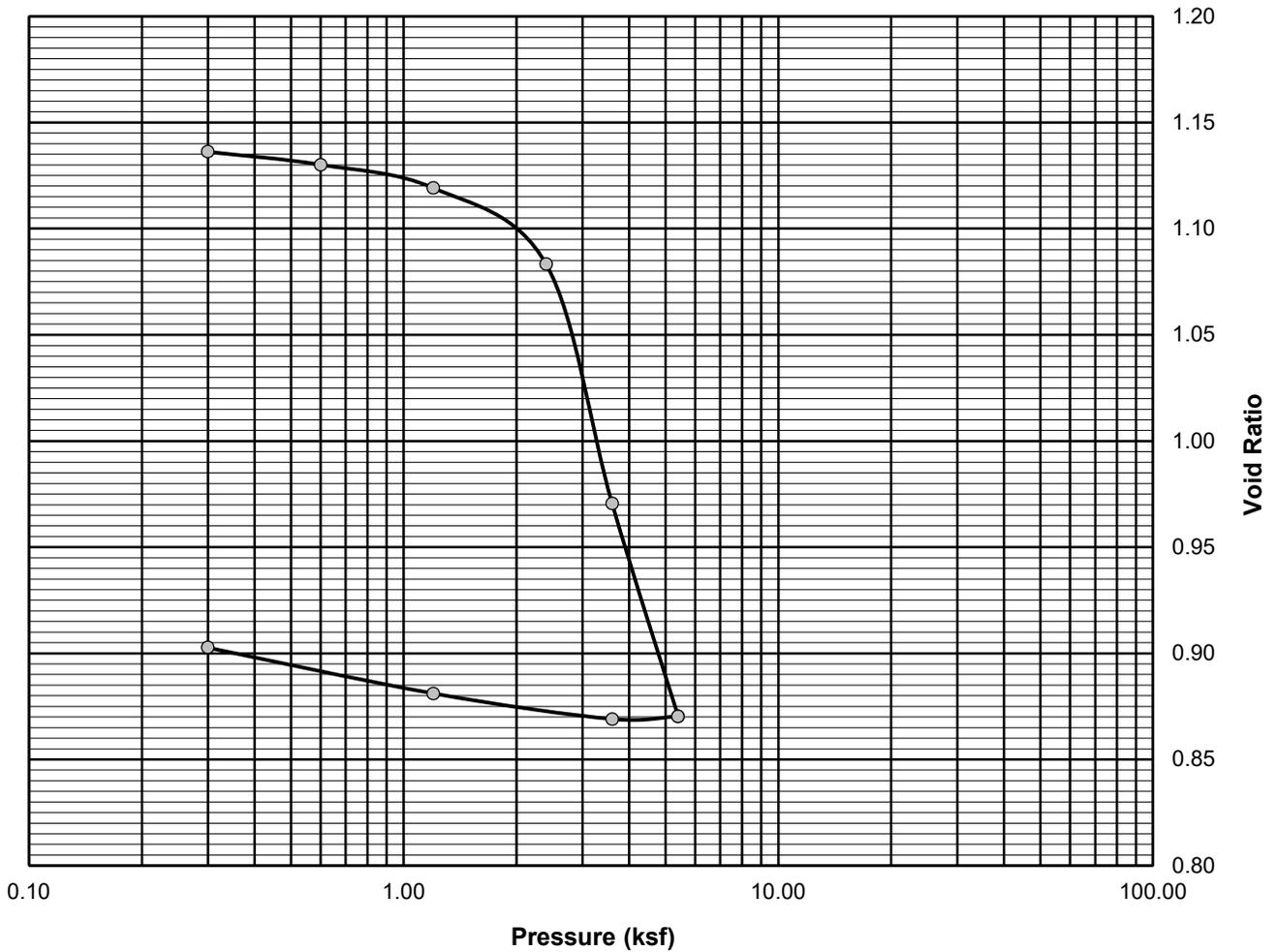
ASTM D-4767

Project Name: Kennebunkport, ME Ocean Ave. Improvements
Client: Woodard & Curran, Inc.

Project Number: 23-1493
Lab ID: 29905B
Date: 11/30/2023

Boring: B-4A
Sample: 1U
Depth: 30-32

| |
|------------------------------|
| $P_C = 2.2 \text{ KSF } +/-$ |
| $C_C = 0.64$ |
| $C_R = 0.03$ |
| $w = 42.2\%$ |
| $W_L = 40$ |
| $W_P = 19$ |



Comments:

EMW

Reviewed By

APPENDIX D: WETLAND DELINEATION REPORT



TO: Barry Sheff, P.E., Woodard & Curran
FROM: Elliott Boardman & Kevin Ryan, FB Environmental Associates
SUBJECT: Ocean Avenue Kennebunkport, Maine Wetland Delineation
DATE: October 24, 2023
CC: Forrest Bell, FB Environmental Associates

Attachments: 1) Wetland Delineation Map 2) Cowardin Wetland Classification System; 3) Site Photographs, 4) Completed Wetland Function-Value Evaluation Forms 5) Completed USACE Wetland Data Determination Forms, 6) Natural Resource Agency Correspondence

At the request of Woodard & Curran, FB Environmental Associates, LLC (FBE) delineated wetlands and watercourses at a site in Kennebunkport, Maine. The Survey Area encompasses approximately 1.8-acres along Ocean Avenue. FBE understands that the work described herein is in support of a road improvement project.

Prior to the field investigation, FBE reviewed existing information relevant to wetlands on the site: aerial photographs, National Wetlands Inventory (NWI) maps, and soil maps. FBE also corresponded with the Maine Natural Areas Program (MNAP) regarding the presence of rare or unique botanical features, and the Maine Department of Inland Fisheries and Wildlife (MDIFW) to inquire about known locations of Endangered, Threatened, and Special Concern species; designated Essential and Significant Wildlife Habitats; and fisheries habitat concerns within the vicinity of the Survey Area.

WETLAND DELINEATION METHODOLOGY

Fieldwork was conducted on 12 October 2023, by FBE's Ecological Services Lead and Senior Wetland Scientist Kevin Ryan and Wetland Scientist Elliott Boardman. Wetlands were identified and delineated in accordance with the 1987 US Army Corps of Engineers (USACE) Wetland Delineation Manual¹ using the methods described in the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0.² All wetlands and watercourses were classified using the US Fish and Wildlife Service (USFWS) Classification of Wetlands and Deepwater Habitats of the United States.³

Wetland boundaries were marked in the field using pink flagging emblazoned with the words "WETLAND DELINEATION." Boundaries of wetlands delineated during the field survey were geo-located using a sub-meter accuracy GPS unit (EOS Arrow-100). The collected GPS data were used to create the attached wetland delineation map.

WETLAND FUNCTIONS & VALUES ASSESSMENT METHODOLOGY

FBE conducted the wetland functional assessment pursuant to the approach described by the 1995 Army Corps Highway Methodology Workbook Supplement: Wetland Functions and Values.⁴

¹ Environmental Laboratory. (1987). Corps of Engineers Wetlands Delineation Manual. Wetlands Research Program Technical Report Y-87-1. Vicksburg, MS: US Army Engineer Waterways Experiment Station.

² U.S. Army Corps of Engineers. 2012. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0), ed. J. S. Wakeley, R. W. Lichvar, C. V. Noble, and J. F. Berkowitz. ERDC/EL TR-12-1. Vicksburg, MS: U.S. Army Engineer Research and Development Center.

³ Cowardin, L. M., V. Carter, F. C. Golet, E. T. LaRoe. 1979. Classification of wetlands and deepwater habitats of the United States. U.S. Department of the Interior, Fish and Wildlife Service, Washington, D.C. 131pp.

⁴ U.S. Army Corps of Engineers. 1995. The Highway Methodology Workbook Supplement. Wetland Functions and Values: A Descriptive Approach. U.S. Army Corps of Engineers, New England Division. NENEP-360-1-30a. 32 pp.

Functions are self-sustaining properties of a wetland ecosystem that exist in the absence of society and result from both living and non-living components of a specific wetland resource. These include processes necessary for the self-maintenance of the wetland ecosystem, such as primary productivity and nutrient cycling, among others. Therefore, functions relate to the ecological significance of wetland properties without regard to subjective human values.

Values are benefits that derive from one or more functions and the physical characteristics associated with a wetland. Most wetlands have corresponding societal values. The value of a particular wetland function, or combination of functions, is based on human judgment of the worth, merit, quality, or importance attributed to those functions.

In this “Descriptive Approach” to function assessment, evaluators first determine if particular functions and values are present, and then if they are “principal” and why. Functions and values are considered “principal” if they are an important physical component of a wetland ecosystem (function only), and/or are considered of special value to society, from a local, regional, and/or national perspective. When making determinations regarding a wetland, evaluators are encouraged to determine whether the wetland has the potential to serve these functions and values.

The 13 functions and values associated with a wetland functional assessment are described below:

1. *Groundwater Recharge/Discharge*: The potential for the wetland to serve as a groundwater recharge and/or discharge area. This function refers to the fundamental interaction between wetlands and aquifers, regardless of the size or importance of either.
2. *Floodflow Alteration (Storage & Desynchronization)*: The effectiveness of the wetland in reducing flood damage by attenuation of floodwaters for prolonged periods following precipitation events and the gradual release of floodwaters. This function adds to the stability of the wetland ecosystem or its buffering characteristics and provides social or economic value relative to erosion and/or flood prone areas.
3. *Fish and Shellfish Habitat*: The effectiveness of seasonal or permanent watercourses associated with the wetland to provide fish and shellfish habitat.
4. *Sediment/Toxicant/Pathogen Retention*: The ability of the wetland to reduce or prevent degradation of water quality. This function relates to the effectiveness of the wetland as a trap for sediments, toxicants, or pathogens in runoff water from surrounding uplands, or upstream erosive wetland areas.
5. *Nutrient Removal/Retention/Transformation*: The ability of the wetland to act as a trap for nutrients in runoff water from surrounding uplands or contiguous wetlands and the ability of the wetland to process these nutrients into other forms or trophic levels. One aspect of this function is to prevent ill effects of nutrients entering aquifers or surface waters such as ponds, lakes, streams, rivers, or estuaries.
6. *Production Export*: The effectiveness of the wetland to produce food or usable products for man or other living organisms.
7. *Sediment/Shoreline Stabilization*: The effectiveness of the wetland in stabilizing stream banks and shorelines against erosion.

8. *Wildlife Habitat*: The effectiveness of the wetland to provide habitat for various types and populations of animals typically associated with wetlands and wetland edges. Both resident and migrating species are considered.
9. *Recreation*: The suitability of the wetland and associated watercourses to provide recreational opportunities such as hiking, canoeing, boating, fishing, hunting, and other active or passive recreational activities.
10. *Educational/Scientific Value*: The suitability of the wetland as a site for an “outdoor classroom,” or as a location for scientific study or research.
11. *Uniqueness/Heritage*: The effectiveness of the wetland or its associated waterbodies to provide certain unique values, including archaeological sites, critical habitat for endangered species, its overall health and appearance, its role in the ecological system of the area, or its relative importance as a typical wetland class for the geographic location.
12. *Visual Quality/Aesthetics*: The visual and aesthetic quality or usefulness of the wetland.
13. *Endangered Species Habitat*: The suitability of the wetland to support threatened or endangered species.

WETLANDS OF SPECIAL SIGNIFICANCE

In Maine, Wetlands of Special Significance (WoSS) are regulated by the Maine Department of Environmental Protection under Chapter 310 of the Maine Natural Resources Protection Act. All coastal wetlands and great ponds (inland bodies of water >10 acres in size) are classified as WoSS. In addition, a freshwater wetland may be considered one of special significance if it: (1) contains a natural community that is critically imperiled or imperiled as defined by the Maine Natural Areas Program; (2) contains significant wildlife habitat; (3) is located within 250 feet of a coastal wetland; (4) is located within 250 feet of a great pond; (5) contains at least 20,000 square feet of aquatic vegetation, emergent marsh vegetation, or open water; (6) is inundated with floodwater during a 100-year flood event based on flood insurance maps; (7) is or contains peatlands; or (8) is located within 25 feet of a river, stream or brook. FBE assessed the Survey Area for the presence of WoSS.

RESULTS – NATURAL RESOURCE AGENCY CORRESPONDENCE

Reply correspondence to FBE’s data inquiry letters to Maine natural resource agencies is attached to this memo.

Maine Natural Areas Program

MNAP correspondence states that according to the information currently in their Biological and Conservation Data System files, there are no rare botanical features documented specifically within the project area. Note however that the lack of data may indicate minimal survey efforts rather than confirm the absence of rare botanical features.

Maine Department of Inland Fisheries and Wildlife

FBE is awaiting a response from MDIFW and will forward it to Woodard & Curran once received.

RESULTS - GENERAL SITE DESCRIPTION

FBE Ecological Services Division Lead and Senior Wetland Scientist Kevin Ryan and Wetland Scientist Elliott Boardman conducted the field investigation on 12 October 2023.

The Survey Area is comprised predominantly of impervious cover including a road (Ocean Avenue), pedestrian walkways, and parking areas. Some areas of upland forest exist along the southern boundary of the Survey Area. A maintained field approximately 0.25 acres in size is present at the western end of the Survey Area.

RESULTS - WETLANDS, WATERCOURSES, AND VERNAL POOLS

FBE identified and delineated five areas of wetland within the Survey Area. All wetlands identified are WoSS as they are either coastal wetlands, are within 250 feet of coastal wetlands, contain greater than 20,000 square feet of open water and/or emergent marsh vegetation, and/or contain significant wildlife habitat.

Although Wetlands A through E are discussed separately below, for the purposes of the functions and values assessment, Wetlands A and B were assessed together as they are part of the same overall wetland complex. Wetlands C and E are grouped as well as both border the ocean and have similar structure and function. Completed USACE Wetland Determination Data Forms and Wetland Function-Value Evaluation Forms are included with this report.

Wetland A

Wetland A is located along the eastern end of the Survey Area and extends beyond it to the north. The wetland is impounded by Ocean Avenue and a portion of it adjacent to the road has been filled with a cobble-gravel mixture. The edges of the wetland have a permanently flooded water regime and contain persistent emergent vegetation (PEM1Hh). The interior of the wetland contains open water and meets the classification of a permanently flooded palustrine unconsolidated bottom wetland (PUBHh).

Vegetation present along the wetland edges includes narrowleaf cattail (*Typha angustifolia*), broadleaf cattail (*Typha latifolia*), sensitive fern (*Onoclea sensibilis*), jewelweed (*Impatiens capensis*), wild radish (*Raphanus raphanistrum*), and a small patch of invasive phragmites (*Phragmites australis*).

Principal functions of Wetland A are Floodflow Alteration, Sediment/Toxicant Retention, Nutrient Removal, Wildlife Habitat, and Uniqueness/Heritage. Other functions and values that this wetland provides consist of Groundwater Recharge/Discharge, Fish and Shellfish Habitat, Production Export, Sediment/Shoreline Stabilization, Educational/Scientific Value, and Visual Quality/Aesthetics.

Wetland A meets the criteria to be considered a WoSS as it is within 250 feet of a coastal wetland, contains greater than 20,000 square feet of open water and emergent marsh vegetation, and is mapped as Inland Wading Bird and Waterfowl habitat, a Significant Wildlife Habitat.

Wetland B

Wetland B is located in the western portion of the Survey Area and extends beyond it to the north. It is a part of the same system as Wetland A and is also impounded by Ocean Avenue. The wetland is also hydrologically connected to Wetland C via a culvert under Ocean Avenue.

The edges of the wetland are permanently flooded palustrine emergent systems with persistent vegetation (PEM1Hh). The interior of the wetland contains open water and meets the classification of a permanently flooded palustrine unconsolidated bottom system (PUBHh). Vegetation present along the edges of Wetland B includes narrowleaf cattail, jewelweed, non-native, invasive purple loosestrife (*Lythrum salicaria*), and a patch of common winterberry (*Ilex verticillata*) surrounding the culvert.

Principal functions of Wetland B are Floodflow Alteration, Sediment/Toxicant Retention, Nutrient Removal, Wildlife Habitat, and Uniqueness/Heritage. Other functions and values that this wetland provides consist of Groundwater Recharge/Discharge, Fish and Shellfish Habitat, Production Export, Sediment/Shoreline Stabilization, Educational/Scientific Value, and Visual Quality/Aesthetics.

Wetland B is a WoSS as it is within 250 feet of a coastal wetland, contains greater than 20,000 square feet of open water and emergent marsh vegetation, and is mapped as Inland Wading Bird and Waterfowl habitat, a Significant Wildlife Habitat.

Wetland C

Wetland C is located along the southwestern border of the Survey Area and extends beyond it to the south, west, and east. The wetland is a marine intertidal system with an unconsolidated shore of cobble-gravel that is regularly flooded in the lower parts and irregularly flooded in the upper portion (closer to the road) (M2USIN/P).

Principal functions of Wetland C are Wildlife Habitat, Recreation, Educational/Scientific Value, and Uniqueness/Heritage. Other functions and values provided by this wetland are Fish and Shellfish Habitat, Production Export, Sediment/Shoreline Stabilization, and Visual Quality/Aesthetics.

Wetland C is a WoSS as it is a coastal wetland.

Wetland D

Wetland D is located along the southern Survey Area boundary directly adjacent to Ocean Avenue and is an emergent wetland with persistent vegetation that is continuously saturated and seasonally flooded (PEMID/E).

At the USACE plot location for Wetland D, some red maple (*Acer rubrum*) is present along the edges of the wetland, but no shrub layer is present. The herb stratum is dominated by narrowleaf cattail with purple loosestrife present to a significantly lesser extent.

Soils at the plot location meet the criteria for hydric soil indicator A4 – *Hydrogen Sulfide* as a prominent hydrogen sulfide odor was observed in the wetland. The observed primary indicators of hydrology were A3 – *Saturation* and C1 – *Hydrogen Sulfide Odor*.

Principal functions of the Wetland are Sediment/Toxicant Retention and Nutrient Removal. Other functions and values provided by Wetland D include Groundwater Recharge/Discharge, Floodflow Alteration, Production Export, Wildlife Habitat, Educational/Scientific Value, Uniqueness/Heritage, and Visual Quality/Aesthetics.

Wetland D is a WoSS as it is within 250 feet of a coastal wetland.

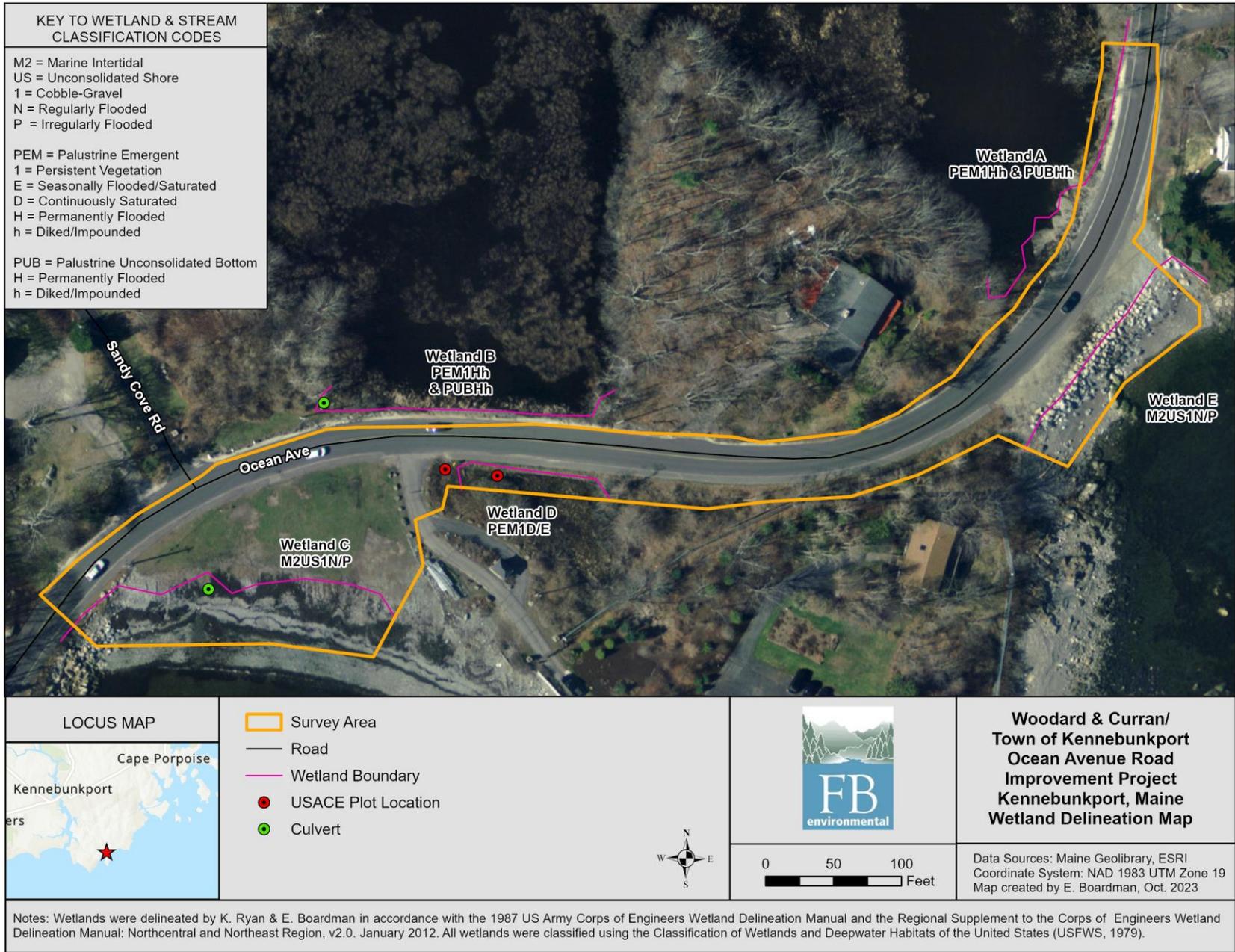
Wetland E

Wetland E is in the easternmost part of the Survey Area directly adjacent to a gravel parking area. The wetland is a marine intertidal system with an unconsolidated shore of cobble-gravel that contains both regularly and irregularly flooded areas (M2USIN/P). Riprap is present along the northwestern edge of Wetland E, separating it from the parking area. The easternmost edge of the wetland abuts a retaining wall.

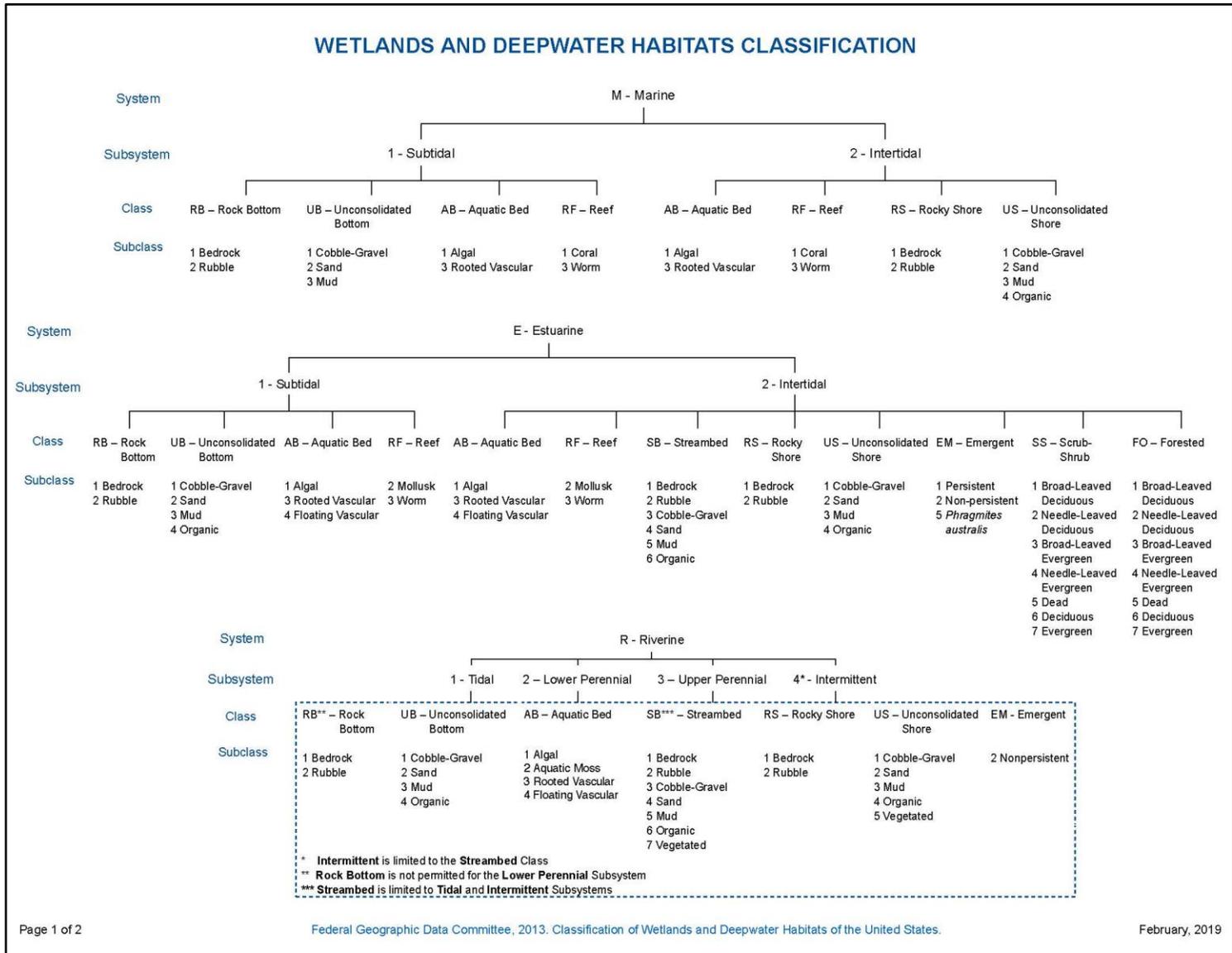
Principal functions of Wetland E are Wildlife Habitat, Recreation, Educational/Scientific Value, and Uniqueness/Heritage. Other functions and values provided by this wetland are Fish and Shellfish Habitat, Production Export, Sediment/Shoreline Stabilization, and Visual Quality/Aesthetics.

Due to being a coastal wetland, Wetland E meets the criteria to be classified as WoSS.

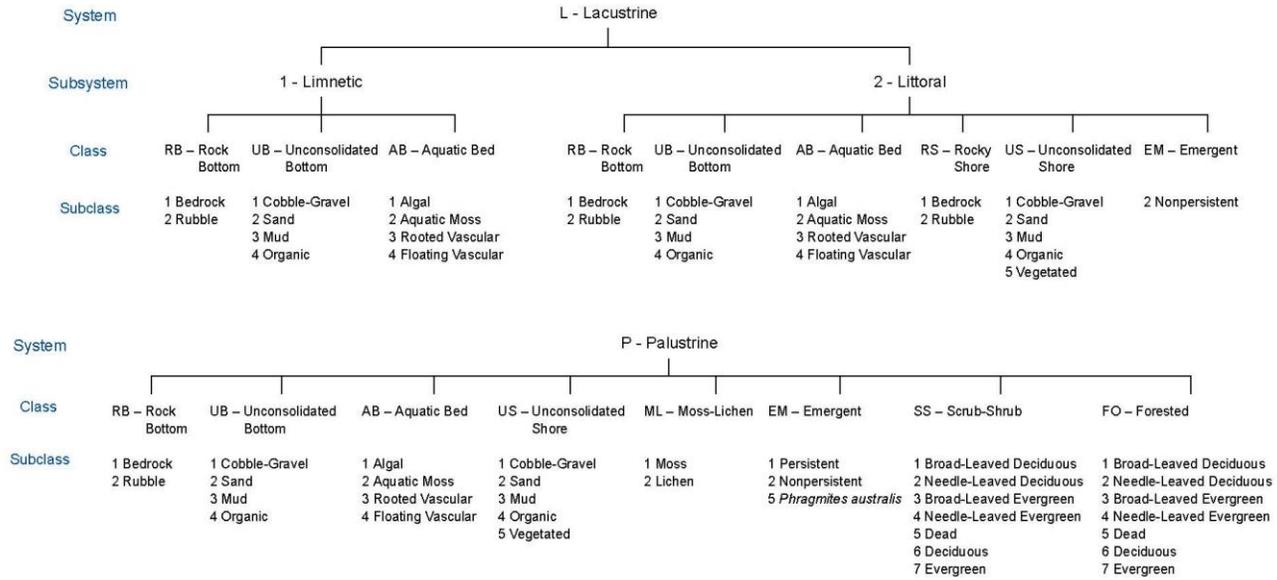
ATTACHMENT 1. WETLAND DELINEATION MAP



ATTACHMENT 2. COWARDIN WETLAND CLASSIFICATION SYSTEM



WETLANDS AND DEEPWATER HABITATS CLASSIFICATION



| MODIFIERS | | | | | | |
|---|-----------------------|---------------------------------------|--------------------------|--------------------------------------|------------------------------|-----------|
| In order to more adequately describe the wetland and deepwater habitats, one each of the water regime, water chemistry, soil, or special modifiers may be applied at the class or lower level in the hierarchy. | | | | | | |
| Water Regime | | | Special Modifiers | Water Chemistry | | Soil |
| Nontidal | Saltwater Tidal | Freshwater Tidal | | Halinity/Salinity | pH Modifiers for Fresh Water | |
| A Temporarily Flooded | L Subtidal | Q Regularly Flooded-Fresh Tidal | b Beaver | 1 Hyperhaline / Hypersaline | a Acid | g Organic |
| B Seasonally Saturated | M Irregularly Exposed | R Seasonally Flooded-Fresh Tidal | d Partly Drained/Ditched | 2 Euhaline / Eusaline | t Circumneutral | n Mineral |
| C Seasonally Flooded | N Regularly Flooded | S Temporarily Flooded-Fresh Tidal | f Farmed | 3 Mixohaline / Mixosaline (Brackish) | i Alkaline | |
| D Continuously Saturated | P Irregularly Flooded | T Semipermanently Flooded-Fresh Tidal | m Managed | 4 Polyhaline | | |
| E Seasonally Flooded / Saturated | | V Permanently Flooded-Fresh Tidal | h Diked/Impounded | 5 Mesohaline | | |
| F Semipermanently Flooded | | | r Artificial Substrate | 6 Oligohaline | | |
| G Intermittently Exposed | | | s Spoil | 0 Fresh | | |
| H Permanently Flooded | | | x Excavated | | | |
| J Intermittently Flooded | | | | | | |
| K Artificially Flooded | | | | | | |

ATTACHMENT 3. SITE PHOTOGRAPHS



Photo 1. Emergent vegetation is present along the edges of Wetland A with open water in the interior.



Photo 2. A portion of Wetland A along Ocean Avenue has been filled with cobble and gravel. Vegetation is established in this area.



Photo 3. Wetland B is a part of the same wetland complex as Wetland A and shares the same classification.



Photo 4. A view of Wetland B from Ocean Avenue.



Photo 5. Wetland C is a marine intertidal wetland with an unconsolidated shore of cobble-gravel (M2USIN/P)



Photo 6. Wetland D from the USACE plot location.



Photo 7. Wetland E contains large riprap along its northern edge.



Photo 8. An area of maintained field is located directly adjacent to Wetland C.

ATTACHMENT 4. COMPLETED WETLAND FUNCTION-VALUE EVALUATION FORMS

Wetland Function-Value Evaluation Form

Total area of wetland _____ Human made? No Is wetland part of a wildlife corridor? _____ or a "habitat island"? X

Adjacent land use Transport (Road), Residential Distance to nearest roadway or other development 0

Dominant wetland systems present Palustrine Contiguous undeveloped buffer zone present No

Is the wetland a separate hydraulic system? No If not, where does the wetland lie in the drainage basin? Low- near ocean

How many tributaries contribute to the wetland? _____ Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. Wetlands A&B

Latitude _____ Longitude _____

Prepared by: EB, KR Date 12 Oct. 2023

Wetland Impact:
Type _____ Area _____

Evaluation based on:
Office X Field X

Corps manual wetland delineation completed? Y X N

| Function/Value | Suitability Y / N | Rationale (Reference #)* | Principal Function(s)/Value(s) | Comments |
|--------------------------------------|----------------------|----------------------------------|-----------------------------------|--|
| Groundwater Recharge/Discharge | Y | 7, 9 | | Wetland impounded by Ocean Avenue. |
| Floodflow Alteration | Y | 1,3,4,5,8,10,11,12,13,14,15,16 | X | Wetland can store water following large precipitation events. |
| Fish and Shellfish Habitat | Y | 3,4,10 | | Wetland contains large areas of open water and receives input from a watercourse. |
| Sediment/Toxicant Retention | Y | 1,2,3,4,5,8,10,11,12,13,14,15,16 | X | Wetland bordered by thick cattails and phragmites |
| Nutrient Removal | Y | 1,2,3,4,5,6,7,8,9,10,11,12,13,14 | X | Vegetation within wetland utilize nutrients. |
| Production Export | Y | 1,2,,4,6,7,8,9,13 | | Observed waterfowl- several mallards. |
| Sediment/Shoreline Stabilization | Y | 3,4,6,7,12,13,15 | | Wetland is bordered by emergent vegetation. |
| Wildlife Habitat | Y | 3,8,9,11,12,13,16,18,19,21 | X | Observed mallards and juvenile green frog. |
| Recreation | N | 5,10,11,12,1 | | The wetland complex is easily accessed from nearby parking area. |
| Educational/Scientific Value | Y | 3,5,8,9,10 | | The wetland complex is in proximity to other wetland types. |
| Uniqueness/Heritage | Y | 1,3,5,8,9,12,13,14,16,17,18,27 | X | The wetland complex is in proximity to other wetland types. |
| Visual Quality/Aesthetics | Y | 1,2,6,7,8,9,10,11,12 | | The wetland contains a mix of vegetation and open water which is aesthetically pleasing. |
| ES Endangered Species Habitat | | | | MDIFW to provide any known records of endangered species. |
| Other | | | | |

Notes: * Refer to backup list of numbered considerations.

Habitat island checked because wetland complex is almost completely surrounded by development.

Wetland Function-Value Evaluation Form

Total area of wetland _____ Human made? No Is wetland part of a wildlife corridor? No or a "habitat island"? No
 Adjacent land use Residential, Transportation Distance to nearest roadway or other development 0
 Dominant wetland systems present Marine Contiguous undeveloped buffer zone present No
 Is the wetland a separate hydraulic system? No If not, where does the wetland lie in the drainage basin? Low- Marine system
 How many tributaries contribute to the wetland? _____ Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. Wetlands C&E
 Latitude _____ Longitude _____
 Prepared by: EB, KR Date 13 October 2023
 Wetland Impact:
 Type _____ Area _____
 Evaluation based on:
 Office Field
 Corps manual wetland delineation completed? Y N _____

| Function/Value | Suitability Y / N | Rationale (Reference #)* | Principal Function(s)/Value(s) | Comments |
|--------------------------------------|----------------------|------------------------------|-----------------------------------|---|
| Groundwater Recharge/Discharge | N | 6,15 | | |
| Floodflow Alteration | N | 4,5,7,9,10 | | |
| Fish and Shellfish Habitat | Y | 2,3,4 | | Wetland is a marine system which undoubtedly serves as habitat for fish. |
| Sediment/Toxicant Retention | N | | | |
| Nutrient Removal | N | | | |
| Production Export | Y | 1,3,4,5,6,13 | | Lobsters likely present in the vicinity of the wetland. |
| Sediment/Shoreline Stabilization | Y | 1,2,3,10,11 | | Rocky shore contributes to shoreline stabilization. |
| Wildlife Habitat | Y | 7,8,16,17,18,19,21 | X | Observed gulls and mollusk shells in wetland. |
| Recreation | Y | 2,4,5,8,9,10,12,13,14,15 | X | Adjacent to sidewalk/walking path. Observed numerous people utilizing the area. |
| Educational/Scientific Value | Y | 3,4,5,8,9,10,12,13,14,15 | X | The wetland complex is in proximity to other wetland types. |
| Uniqueness/Heritage | Y | 1,2,8,9,10,12,13,14,16,17,19 | X | The wetland complex is in proximity to other wetland types. |
| Visual Quality/Aesthetics | Y | 1,2,6,8,9,12 | | The coastline & ocean are undoubtedly visually appealing. |
| ES Endangered Species Habitat | | | | MDIFW to provide any known records of endangered species. |
| Other | | | | |

Notes:

* Refer to backup list of numbered considerations.

Wetland Function-Value Evaluation Form

Total area of wetland ~0.1ac Human made? No Is wetland part of a wildlife corridor? No or a "habitat island"? No
 Adjacent land use Residential, Transportation Distance to nearest roadway or other development 0 feet
 Dominant wetland systems present Palustrine Contiguous undeveloped buffer zone present No
 Is the wetland a separate hydraulic system? If not, where does the wetland lie in the drainage basin?
 How many tributaries contribute to the wetland? 0 Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. Wetland D
 Latitude Longitude
 Prepared by: KR Date 23 Oct. 2023
 Wetland Impact:
 Type Area
 Evaluation based on:
 Office Field
 Corps manual wetland delineation completed? Y N

| Function/Value | Suitability Y / N | Rationale (Reference #)* | Principal Function(s)/Value(s) | Comments |
|----------------------------------|----------------------|-----------------------------|-----------------------------------|---|
| Groundwater Recharge/Discharge | Y | 15 | | Wetland is a cattail marsh that likely has a connection to the groundwater table. |
| Floodflow Alteration | Y | 4,5,6,9,11,18 | | Dense cattail marsh is suitable for water retention following precipitation. |
| Fish and Shellfish Habitat | N | | | Wetland contained no standing water during field investigation. |
| Sediment/Toxicant Retention | Y | 1,2,3,4,5,8,9 | X | Dense cattails retain/absorb toxicants. |
| Nutrient Removal | Y | 3,5,6,7,8,9,10,11 | X | Vegetation in wetland utilize nutrients. |
| Production Export | Y | 1,2,7,12, | | Wetland undoubtedly produces food for wildlife. |
| Sediment/Shoreline Stabilization | N | 3 | | Sediment likely washes in from adjacent road. |
| Wildlife Habitat | Y | 8,11,13 | | Wetland likely utilized by insects and birds. |
| Recreation | N | | | |
| Educational/Scientific Value | Y | 3,8,9,10,12 | | The wetland complex is in proximity to other wetland types. |
| Uniqueness/Heritage | Y | 1,2,5,8,9,12,13 | | The wetland complex is in proximity to other wetland types. |
| Visual Quality/Aesthetics | Y | 1,2,6,9 | | |
| ES Endangered Species Habitat | | | | MDIFW to provide any known records of endangered species. |
| Other | | | | |

Notes:

* Refer to backup list of numbered considerations.

ATTACHMENT 5. COMPLETED USACE WETLAND DETERMINATION DATA FORMS

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Kennebunkport Ocean Ave City/County: Kennebunkport, York Sampling Date: 12 Oct 2023
 Applicant/Owner: Woodard & Curran State: ME Sampling Point: D-1 (wet)
 Investigator(s): E. Boardman, K. Ryan Section, Township, Range: _____
 Landform (hillside, terrace, etc.): Depression Local relief (concave, convex, none): Concave Slope %: 0
 Subregion (LRR or MLRA): LRR R Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Vassalboro Peat NWI classification: PEM1FH

Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

| | |
|---|---|
| Hydrophytic Vegetation Present? Yes <u>X</u> No _____ Hydric Soil Present? Yes <u>X</u> No _____ Wetland Hydrology Present? Yes <u>X</u> No _____ | Is the Sampled Area within a Wetland? Yes <u>X</u> No _____ If yes, optional Wetland Site ID: _____ |
|---|---|

Remarks: (Explain alternative procedures here or in a separate report.)

HYDROLOGY

| Wetland Hydrology Indicators: | Secondary Indicators (minimum of two required) |
|--|--|
| <u>Primary Indicators (minimum of one is required; check all that apply)</u> | |
| <input type="checkbox"/> Surface Water (A1) | <input type="checkbox"/> Surface Soil Cracks (B6) |
| <input type="checkbox"/> High Water Table (A2) | <input type="checkbox"/> Drainage Patterns (B10) |
| <input checked="" type="checkbox"/> Saturation (A3) | <input type="checkbox"/> Moss Trim Lines (B16) |
| <input type="checkbox"/> Water Marks (B1) | <input type="checkbox"/> Dry-Season Water Table (C2) |
| <input type="checkbox"/> Sediment Deposits (B2) | <input type="checkbox"/> Crayfish Burrows (C8) |
| <input type="checkbox"/> Drift Deposits (B3) | <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) |
| <input type="checkbox"/> Algal Mat or Crust (B4) | <input type="checkbox"/> Stunted or Stressed Plants (D1) |
| <input type="checkbox"/> Iron Deposits (B5) | <input checked="" type="checkbox"/> Geomorphic Position (D2) |
| <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) | <input type="checkbox"/> ? Shallow Aquitard (D3) |
| <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8) | <input type="checkbox"/> Microtopographic Relief (D4) |
| <input type="checkbox"/> _____ Aquatic Fauna (B13) | <input checked="" type="checkbox"/> FAC-Neutral Test (D5) |
| <input type="checkbox"/> _____ Marl Deposits (B15) | |
| <input checked="" type="checkbox"/> _____ Hydrogen Sulfide Odor (C1) | |
| <input type="checkbox"/> _____ Oxidized Rhizospheres on Living Roots (C3) | |
| <input type="checkbox"/> _____ Presence of Reduced Iron (C4) | |
| <input type="checkbox"/> _____ Recent Iron Reduction in Tilled Soils (C6) | |
| <input type="checkbox"/> _____ Thin Muck Surface (C7) | |
| <input type="checkbox"/> _____ Other (Explain in Remarks) | |

| | |
|---|---|
| Field Observations: Surface Water Present? Yes _____ No <u>X</u> Depth (inches): _____ Water Table Present? Yes _____ No <u>X</u> Depth (inches): _____ Saturation Present? Yes <u>X</u> No _____ Depth (inches): <u>0</u> (Includes capillary fringe) | Wetland Hydrology Present? Yes <u>X</u> No _____ |
|---|---|

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

US Army Corps of Engineers Northcentral and Northeast Region – Version 2.0

VEGETATION – Use scientific names of plants.

Sampling Point: D-1 (wet)

| Tree Stratum (Plot size: <u>30</u>) | Absolute % Cover | Dominant Species? | Indicator Status | | |
|---|------------------|-------------------|------------------|--|--|
| 1. <u>Acer rubrum</u> | <u>5</u> | Yes | FAC | Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>2</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100.0%</u> (A/B) | |
| 2. _____ | | | | | |
| 3. _____ | | | | | |
| 4. _____ | | | | | |
| 5. _____ | | | | | |
| 6. _____ | | | | | |
| 7. _____ | | | | | |
| | <u>5</u> | =Total Cover | | Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____ | |
| Sapling/Shrub Stratum (Plot size: <u>15</u>) | | | | | |
| 1. _____ | | | | | |
| 2. _____ | | | | | |
| 3. _____ | | | | | |
| 4. _____ | | | | | |
| 5. _____ | | | | | |
| 6. _____ | | | | | |
| 7. _____ | | | | | |
| | | =Total Cover | | Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic. | |
| Herb Stratum (Plot size: <u>5</u>) | | | | | |
| 1. <u>Typha angustifolia</u> | <u>100</u> | Yes | OBL | | |
| 2. <u>Lythrum salicaria</u> | <u>15</u> | No | OBL | | |
| 3. _____ | | | | | |
| 4. _____ | | | | | |
| 5. _____ | | | | | |
| 6. _____ | | | | | |
| 7. _____ | | | | | |
| 8. _____ | | | | | |
| 9. _____ | | | | | |
| 10. _____ | | | | | |
| 11. _____ | | | | | |
| 12. _____ | | | | | |
| | <u>115</u> | =Total Cover | | | |
| Woody Vine Stratum (Plot size: _____) | | | | | |
| 1. _____ | | | | | |
| 2. _____ | | | | | |
| 3. _____ | | | | | |
| 4. _____ | | | | | |
| | | =Total Cover | | Definitions of Vegetation Strata: Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height. Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall. Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall. Woody vines – All woody vines greater than 3.28 ft in height. | |
| Hydrophytic Vegetation Present? Yes <u>X</u> No _____ | | | | | |
| Remarks: (Include photo numbers here or on a separate sheet.) | | | | | |

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Kennebunkport Ocean Ave City/County: Kennebunkport, York Sampling Date: 12 Oct 2023
 Applicant/Owner: Woodard & Curran State: ME Sampling Point: D-2 (Up)
 Investigator(s): E. Boardman, K. Ryan Section, Township, Range: _____
 Landform (hillside, terrace, etc.): Roadside Local relief (concave, convex, none): Convave Slope %: 0-1
 Subregion (LRR or MLRA): LRR R Lat: _____ Long: _____ Datum: _____
 Soil Map Unit Name: Vassalboro Peat NWI classification: None
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil X, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

| | | | |
|--|-----------|-------------|---|
| Hydrophytic Vegetation Present? | Yes _____ | No <u>X</u> | Is the Sampled Area within a Wetland? Yes _____ No <u>X</u> If yes, optional Wetland Site ID: _____ |
| Hydic Soil Present? | Yes _____ | No _____ | |
| Wetland Hydrology Present? | Yes _____ | No <u>X</u> | |
| Remarks: (Explain alternative procedures here or in a separate report.) Soil is fill from road and driveway construction. | | | |

HYDROLOGY

| | | | |
|--|---|--|--|
| Wetland Hydrology Indicators: | | Secondary Indicators (minimum of two required) | |
| Primary Indicators (minimum of one is required: check all that apply) | | | |
| <input type="checkbox"/> Surface Water (A1) | <input type="checkbox"/> Water-Stained Leaves (B9) | <input type="checkbox"/> Surface Soil Cracks (B6) | <input type="checkbox"/> Drainage Patterns (B10) |
| <input type="checkbox"/> High Water Table (A2) | <input type="checkbox"/> Aquatic Fauna (B13) | <input type="checkbox"/> Moss Trim Lines (B16) | <input type="checkbox"/> Dry-Season Water Table (C2) |
| <input type="checkbox"/> Saturation (A3) | <input type="checkbox"/> Marl Deposits (B15) | <input type="checkbox"/> Crayfish Burrows (C8) | <input type="checkbox"/> Saturation Visible on Aerial Imagery (C9) |
| <input type="checkbox"/> Water Marks (B1) | <input type="checkbox"/> Hydrogen Sulfide Odor (C1) | <input type="checkbox"/> Stunted or Stressed Plants (D1) | <input type="checkbox"/> Geomorphic Position (D2) |
| <input type="checkbox"/> Sediment Deposits (B2) | <input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3) | <input type="checkbox"/> ? Shallow Aquitard (D3) | <input type="checkbox"/> Microtopographic Relief (D4) |
| <input type="checkbox"/> Drift Deposits (B3) | <input type="checkbox"/> Presence of Reduced Iron (C4) | <input type="checkbox"/> FAC-Neutral Test (D5) | |
| <input type="checkbox"/> Algal Mat or Crust (B4) | <input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6) | | |
| <input type="checkbox"/> Iron Deposits (B5) | <input type="checkbox"/> Thin Muck Surface (C7) | | |
| <input type="checkbox"/> Inundation Visible on Aerial Imagery (B7) | <input type="checkbox"/> Other (Explain in Remarks) | | |
| <input type="checkbox"/> Sparsely Vegetated Concave Surface (B8) | | | |
| Field Observations: Surface Water Present? Yes _____ No <u>X</u> Depth (inches): _____ Water Table Present? Yes _____ No <u>X</u> Depth (inches): _____ Saturation Present? Yes _____ No <u>X</u> Depth (inches): _____ (Includes capillary fringe) | | Wetland Hydrology Present? Yes _____ No <u>X</u> | |
| Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available: | | | |
| Remarks: | | | |

VEGETATION – Use scientific names of plants.

Sampling Point: D-2 (Up)

| Tree Stratum (Plot size: <u>30</u>) | Absolute % Cover | Dominant Species? | Indicator Status | |
|---|------------------|-------------------|------------------|--|
| 1. _____ | _____ | _____ | _____ | Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>4</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>50.0%</u> (A/B) |
| 2. _____ | _____ | _____ | _____ | |
| 3. _____ | _____ | _____ | _____ | |
| 4. _____ | _____ | _____ | _____ | |
| 5. _____ | _____ | _____ | _____ | |
| 6. _____ | _____ | _____ | _____ | |
| 7. _____ | _____ | _____ | _____ | |
| =Total Cover | | | | Prevalence Index worksheet: Total % Cover of: Multiply by: OBL species <u>0</u> x 1 = <u>0</u> FACW species <u>25</u> x 2 = <u>50</u> FAC species <u>25</u> x 3 = <u>75</u> FACU species <u>10</u> x 4 = <u>40</u> UPL species <u>50</u> x 5 = <u>250</u> Column Totals: <u>110</u> (A) <u>415</u> (B) Prevalence Index = B/A = <u>3.77</u> |
| Sapling/Shrub Stratum (Plot size: <u>15</u>) | Absolute % Cover | Dominant Species? | Indicator Status | |
| 1. <u>Rhus hirta</u> | <u>30</u> | <u>Yes</u> | <u>UPL</u> | |
| 2. <u>Ilex verticillata</u> | <u>5</u> | <u>No</u> | <u>FACW</u> | |
| 3. _____ | _____ | _____ | _____ | |
| 4. _____ | _____ | _____ | _____ | |
| 5. _____ | _____ | _____ | _____ | |
| 6. _____ | _____ | _____ | _____ | |
| 7. _____ | _____ | _____ | _____ | |
| =Total Cover | | | | |
| Herb Stratum (Plot size: <u>5</u>) | Absolute % Cover | Dominant Species? | Indicator Status | |
| 1. <u>Parthenocissus quinquefolia</u> | <u>10</u> | <u>No</u> | <u>FACU</u> | Hydrophytic Vegetation Indicators: <u>1</u> - Rapid Test for Hydrophytic Vegetation <u>2</u> - Dominance Test is >50% <u>3</u> - Prevalence Index is ≤3.0 ¹ <u>4</u> - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) _____ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic. |
| 2. <u>Rosa virginiana</u> | <u>25</u> | <u>Yes</u> | <u>FAC</u> | |
| 3. <u>Raphanus raphanistrum</u> | <u>20</u> | <u>Yes</u> | <u>UPL</u> | |
| 4. <u>Impatiens capensis</u> | <u>5</u> | <u>No</u> | <u>FACW</u> | |
| 5. <u>Symphotrichum novi-belgii</u> | <u>15</u> | <u>Yes</u> | <u>FACW</u> | |
| 6. _____ | _____ | _____ | _____ | |
| 7. _____ | _____ | _____ | _____ | |
| 8. _____ | _____ | _____ | _____ | |
| 9. _____ | _____ | _____ | _____ | |
| 10. _____ | _____ | _____ | _____ | |
| 11. _____ | _____ | _____ | _____ | |
| 12. _____ | _____ | _____ | _____ | |
| =Total Cover | | | | |
| Woody Vine Stratum (Plot size: _____) | Absolute % Cover | Dominant Species? | Indicator Status | |
| 1. _____ | _____ | _____ | _____ | Definitions of Vegetation Strata: Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height. Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall. Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall. Woody vines – All woody vines greater than 3.28 ft in height. |
| 2. _____ | _____ | _____ | _____ | |
| 3. _____ | _____ | _____ | _____ | |
| 4. _____ | _____ | _____ | _____ | |
| =Total Cover | | | | Hydrophytic Vegetation Present? Yes _____ No <u>X</u> |
| Remarks: (Include photo numbers here or on a separate sheet.) | | | | |

ATTACHMENT 6. NATURAL RESOURCE AGENCY CORRESPONDENCE



STATE OF MAINE
DEPARTMENT OF AGRICULTURE, CONSERVATION & FORESTRY
177 STATE HOUSE STATION
AUGUSTA, MAINE 04333

JANET T. MILLS
GOVERNOR

AMANDA E. BEAL
COMMISSIONER

October 2, 2023

Elliott Boardman
FB Environmental Associates
97A Exchange Street, #305
Portland, ME 04101

Via email: elliottb@fbenviormental.com

Re: Rare and exemplary botanical features in proximity to: Ocean Avenue Improvement, Kennebunkport, Maine

Dear Elliott Boardman:

I have searched the Maine Natural Areas Program's Biological and Conservation Data System files in response to your request received September 22, 2023 for information on the presence of rare or unique botanical features documented from the vicinity of the project in Kennebunkport, Maine. Rare and unique botanical features include the habitat of rare, threatened, or endangered plant species and unique or exemplary natural communities. Our review involves examining maps, manual and computerized records, other sources of information such as scientific articles or published references, and the personal knowledge of staff or cooperating experts.

Our official response covers only botanical features. For authoritative information and official response for zoological features you must make a similar request to the Maine Department of Inland Fisheries and Wildlife, 284 State Street, Augusta, Maine 04333.

According to the information currently in our Biological and Conservation Data System files, there are no rare botanical features documented specifically within the project area. Based on the information in our files and the landscape context of this project, there is a low probability that rare or significant botanical features occur at this project location.

This finding is available and appropriate for preparation and review of environmental assessments, but it is not a substitute for on-site surveys. Comprehensive field surveys do not exist for all natural areas in Maine, and in the absence of a specific field investigation, the Maine Natural Areas Program cannot provide a definitive statement on the presence or absence of unusual natural features at this site.

The Maine Natural Areas Program (MNAP) is continuously working to achieve a more comprehensive database of exemplary natural features in Maine. We would appreciate the contribution of any information obtained should you decide to do field work. MNAP welcomes coordination with individuals or organizations proposing environmental alteration, or conducting environmental assessments. If, however, data provided by MNAP are to be published in any form, the Program should be informed at the outset and credited as the source.

The Maine Natural Areas Program has instituted a fee structure of \$75.00 an hour to recover the actual cost of processing your request for information. You will receive an invoice for \$150.00 for two hours of our services.

MOLLY DOCHERTY, DIRECTOR
MAINE NATURAL AREAS PROGRAM
90 BLOSSOM LANE, DEERING BUILDING



PHONE: (207) 287-8044
WWW.MAINE.GOV/DACF/MNAP

Letter to FB Environmental
Comments RE: Ocean Ave, Kennebunkport
October 2, 2023
Page 2 of 2

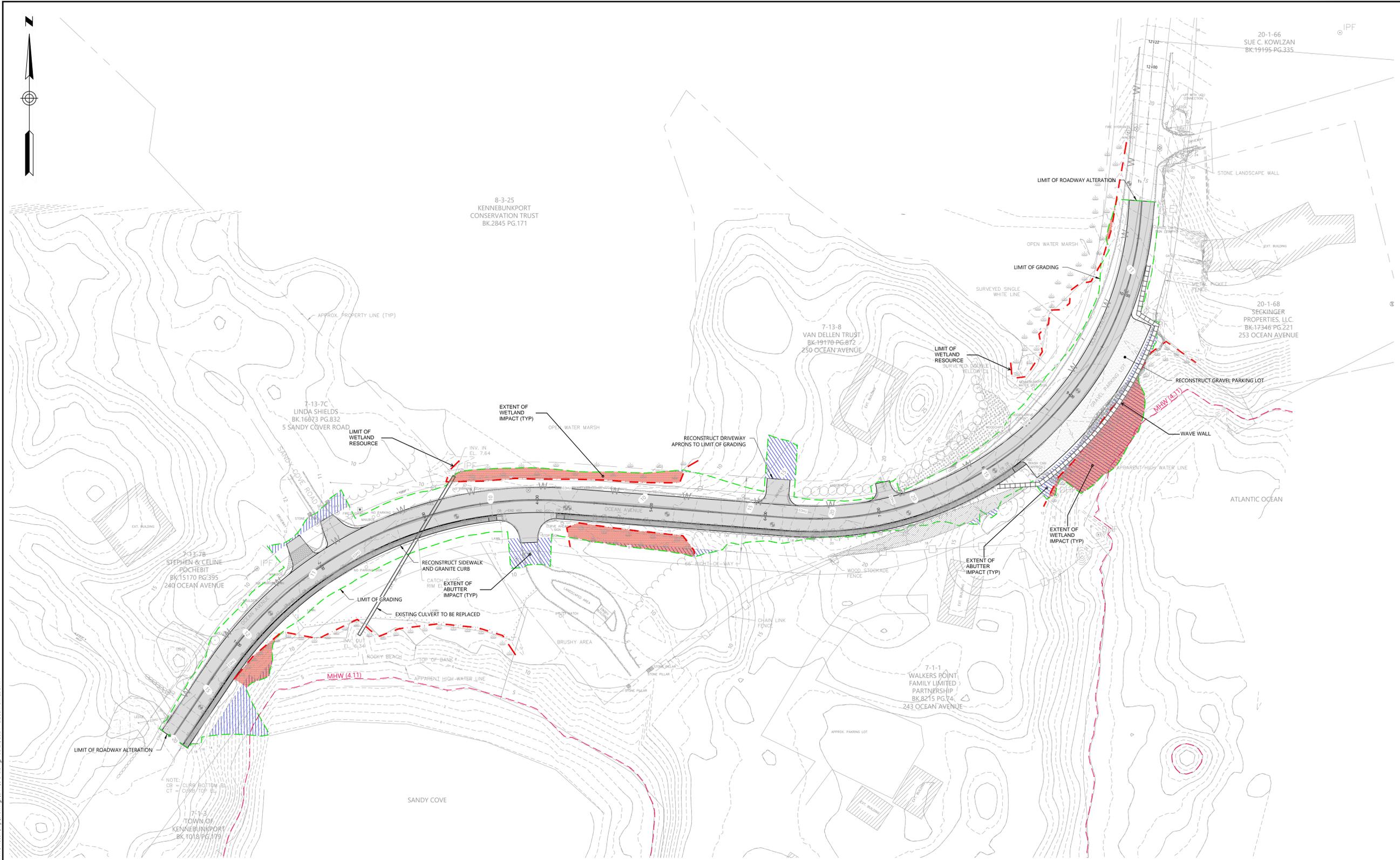
Thank you for using MNAP in the environmental review process. Please do not hesitate to contact me if you have further questions about the Natural Areas Program or about rare or unique botanical features on this site.

Sincerely,

Lisa St. Hilaire

Lisa St. Hilaire | Information Manager | Maine Natural Areas Program
207-287-8044 | lisa.st.hilaire@maine.gov

APPENDIX E: PRELIMINARY DESIGN DRAWINGS



Woodard & Curran
 12 Mountfort Street
 Portland, Maine 04101
 800.426.4262 | www.woodardcurran.com

THIS DOCUMENT IS THE PROPERTY OF WOODARD & CURRAN AND ITS CLIENT. REPRODUCTION OR MODIFICATION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

PE SEAL:

NOT FOR CONSTRUCTION

CLIENT INFO:
 TOWN OF KENNEBUNKPORT
 KENNEBUNKPORT, ME
 OCEAN AVENUE

| REV | MM/DD/YY | DESCRIPTION |
|-----|----------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

JOB NO: 0203806-41
 DATE: FEBRUARY 2024
 SCALE: 1"=40'
 DESIGNED BY: KLR
 DRAWN BY: BCM
 CHECKED BY: KJT
 FILENAME: C-5-6.dwg

DRAWING TITLE:
**CIVIL
 ELEVATION 13 NO WALLS
 SITE PLAN**

DRAWING NO:
C-4

LEGEND

- EXTENTS OF GRADING ---
- UPLAND EDGE OF WETLAND ---
- MEAN HIGH WATER (MHW)/HIGH TIDE LINE (HTL) - EL. 4.11 ---
- WETLAND DISTURBANCE
- DISTURBANCE BEYOND R.O.W.

40' 0 40' 80'
 BAR SCALE
 1" = 40'
 CHECK GRAPHIC SCALE BEFORE USING

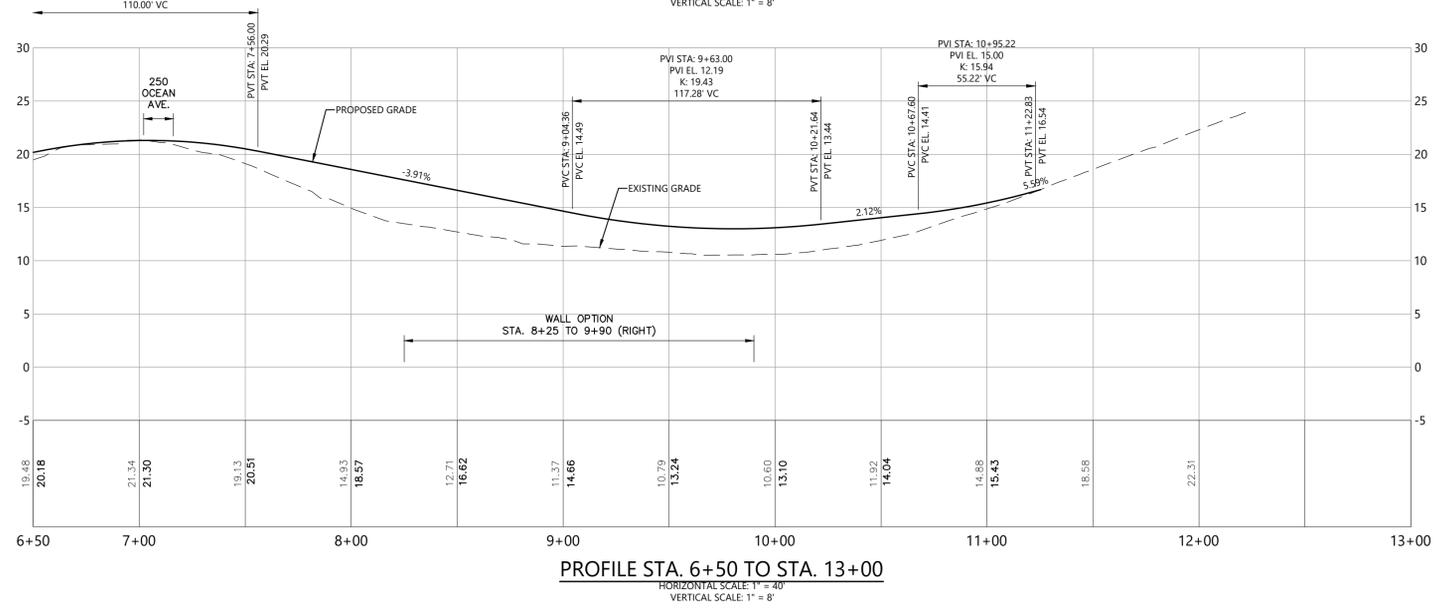
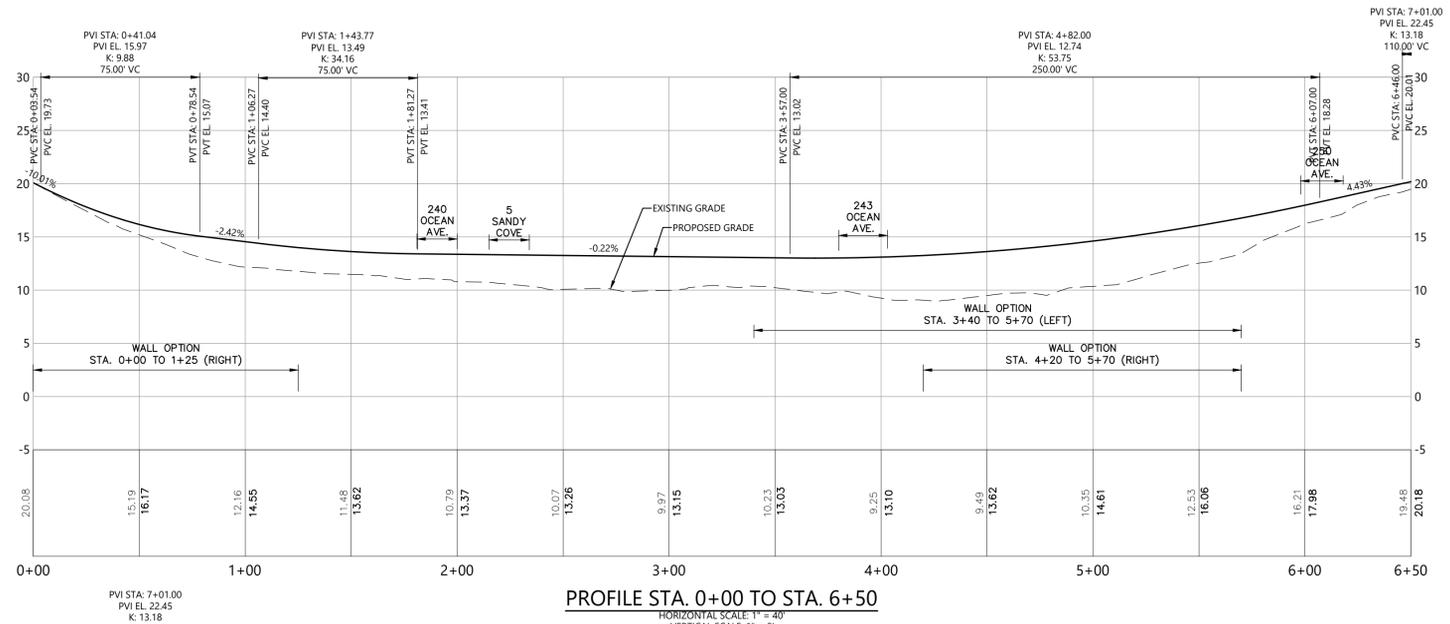
WoodardCurran.net\shared\Projects\0203806-41 Kennebunkport ME Ocean Ave Recon\wpDrawings\Civil\C-5-6.dwg, Feb 27, 2024, 8:58am BCMDEVIT



**Woodard
& Curran**

12 Mountfort Street
Portland, Maine 04101
800.426.4262 | www.woodardcurran.com

THIS DOCUMENT IS THE PROPERTY OF
WOODARD & CURRAN AND ITS CLIENT.
REPRODUCTION OR MODIFICATION WITHOUT
WRITTEN PERMISSION IS PROHIBITED.



PE SEAL:

NOT FOR CONSTRUCTION

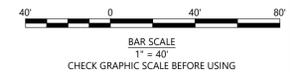
CLIENT INFO:
TOWN OF KENNEBUNKPORT
KENNEBUNKPORT, ME
OCEAN AVENUE

| REV | MM/DD/YY | DESCRIPTION |
|-----|----------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

JOB NO: 0203806.41
DATE: FEBRUARY 2024
SCALE: 1"=40'
DESIGNED BY: KLR
DRAWN BY: BCM
CHECKED BY: KJT
FILENAME: C-7-8.dwg

DRAWING TITLE:
**CIVIL
ELEVATION 13 WITH WALLS
PROFILE**

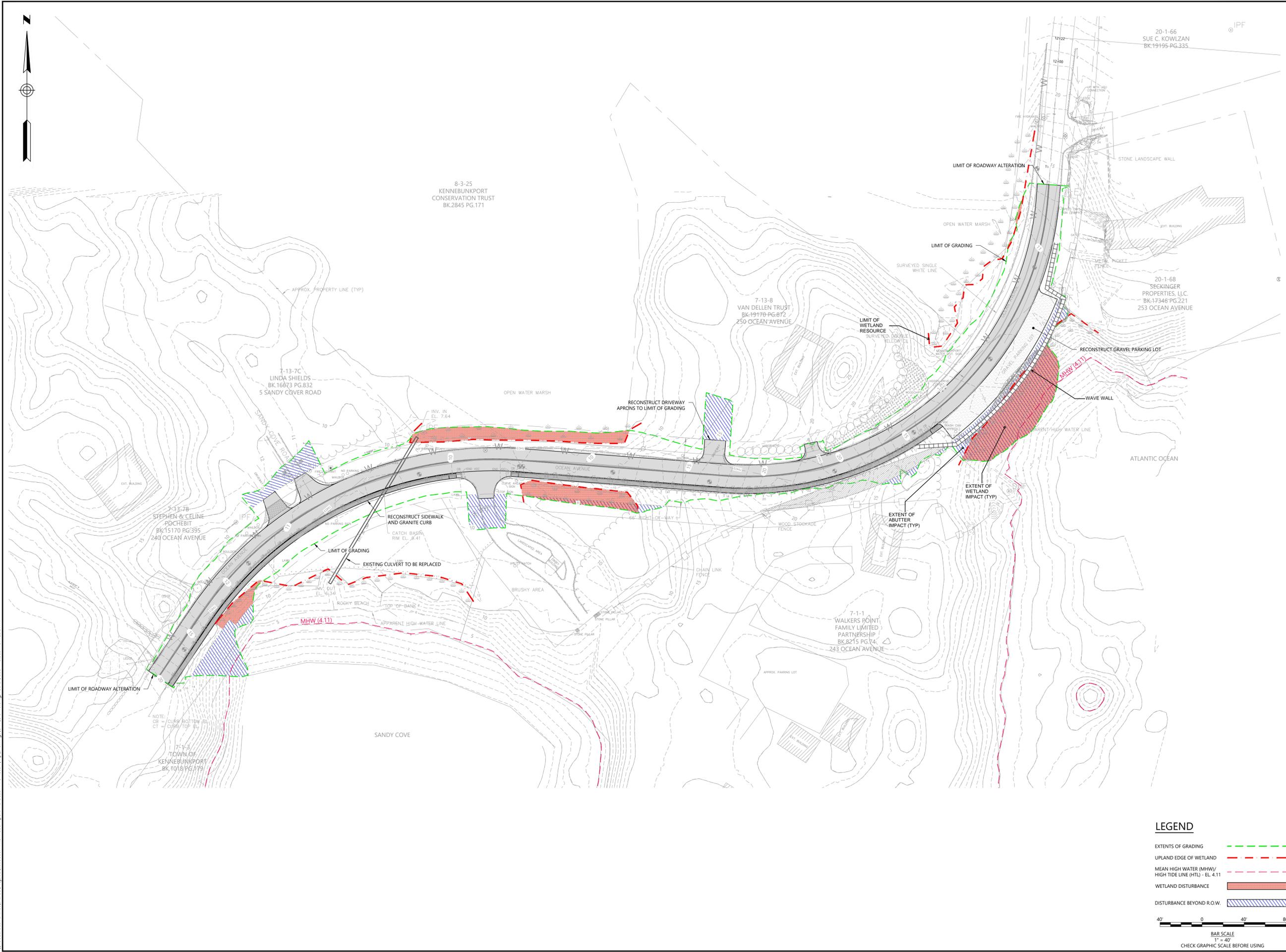
DRAWING NO:
C-6





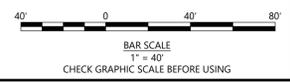
12 Mountfort Street
Portland, Maine 04101
800.426.4262 | www.woodardcurran.com

THIS DOCUMENT IS THE PROPERTY OF
WOODARD & CURRAN AND ITS CLIENT.
REPRODUCTION OR MODIFICATION WITHOUT
WRITTEN PERMISSION IS PROHIBITED.



LEGEND

- EXTENTS OF GRADING ---
- UPLAND EDGE OF WETLAND ---
- MEAN HIGH WATER (MHW)/
HIGH TIDE LINE (HTL) - EL. 4.11 ---
- WETLAND DISTURBANCE
- DISTURBANCE BEYOND R.O.W.



NOT FOR CONSTRUCTION

CLIENT INFO:

TOWN OF KENNEBUNKPORT
KENNEBUNKPORT, ME

OCEAN AVENUE

| REV. | MM/DD/YY | DESCRIPTION |
|------|----------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

JOB NO: 0203806-41
 DATE: FEBRUARY 2024
 SCALE: 1"=40'
 DESIGNED BY: KLR
 DRAWN BY: BCM
 CHECKED BY: KJT
 FILENAME: C-9-10.dwg

DRAWING TITLE:
**CIVIL
ELEVATION 14 NO WALLS
SITE PLAN**

DRAWING NO:
C-7

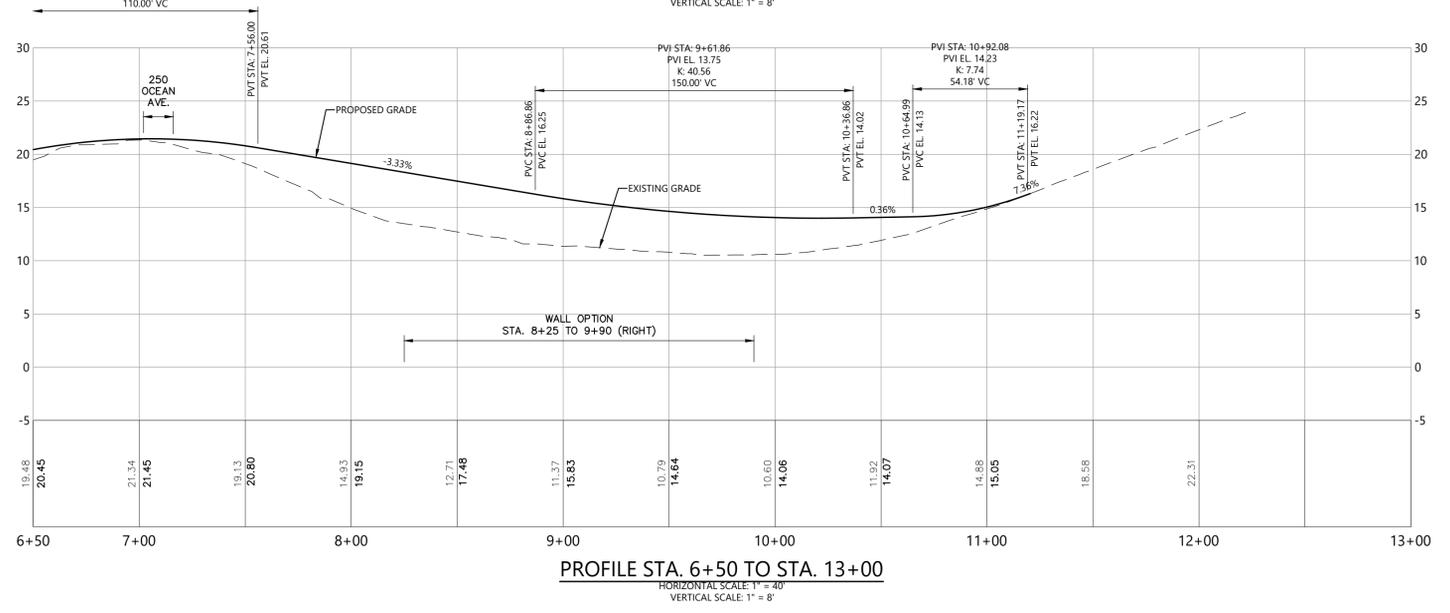
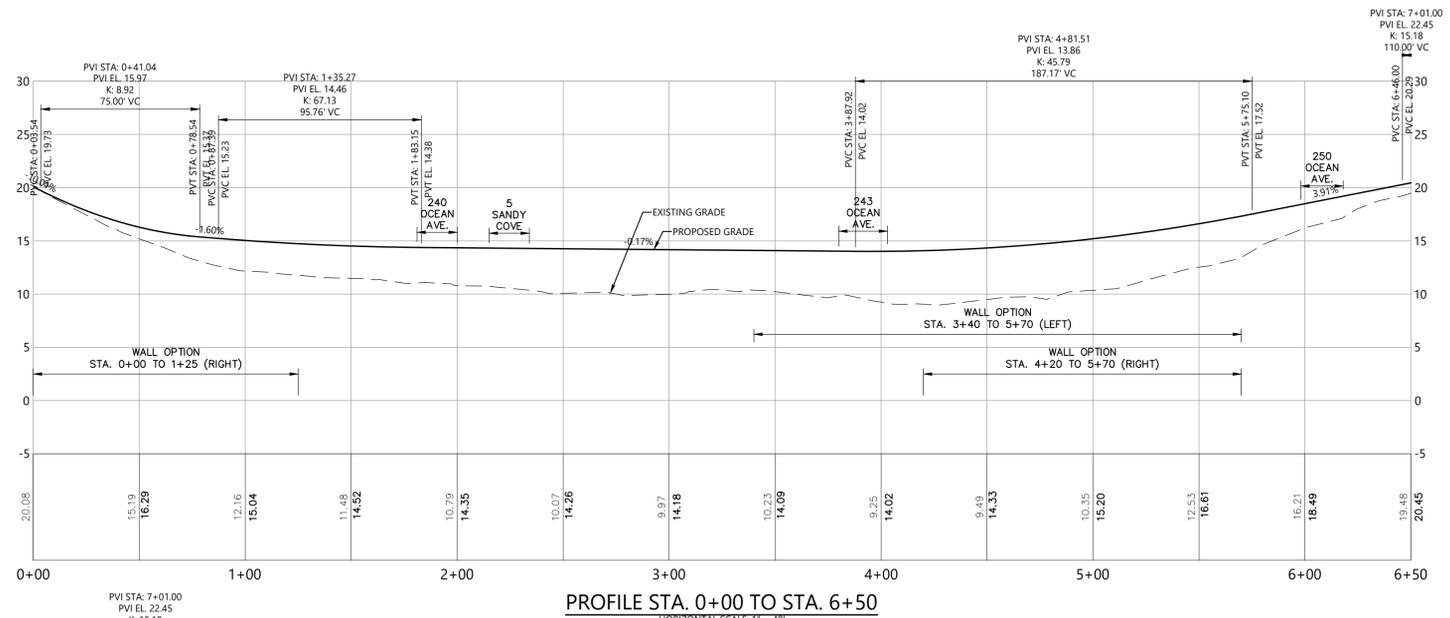
WoodardCurran.net\shared\Projects\0203806-41 Kennebunkport ME Ocean Ave Reconn\Drawings\Civil\C-7.dwg, Feb 27, 2024, 8:58am BCMDEVIT



Woodard & Curran

12 Mountfort Street
Portland, Maine 04101
800.426.4262 | www.woodardcurran.com

THIS DOCUMENT IS THE PROPERTY OF WOODARD & CURRAN AND ITS CLIENT. REPRODUCTION OR MODIFICATION WITHOUT WRITTEN PERMISSION IS PROHIBITED.



PE SEAL:

NOT FOR CONSTRUCTION

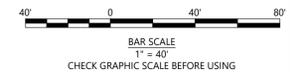
CLIENT INFO:
TOWN OF KENNEBUNKPORT
KENNEBUNKPORT, ME
OCEAN AVENUE

| REV | MM/DD/YY | DESCRIPTION |
|-----|----------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

JOB NO: 0203806.41
 DATE: FEBRUARY 2024
 SCALE: 1"=40'
 DESIGNED BY: KLR
 DRAWN BY: BCM
 CHECKED BY: KJT
 FILENAME: C-11-12.dwg

CIVIL ELEVATION 14 WITH WALLS PROFILE

DRAWING NO: **C-9**



APPENDIX F: OPINION OF PROBABLE PROJECT COST



Project Name: Ocean Ave Reconstruction
 Project Number: 203806.41
 Date: March 2024

| Ocean Ave Reconstruction Elevation 13 - Retaining Wall Option Engineer's Opinion of Probable Project Cost - Conceptual Design Estimate | | | | | |
|--|--|------|----------|--|---------------------|
| No. | Description | Unit | Quantity | Unit Price | Total Cost |
| Construction - Road Improvements to Allow Settlement (Gravel Road Interim Condition) | | | | | |
| 1 | Removing of Existing Bituminous Pavement | SY | 4,030 | \$ 6 | \$ 25,000 |
| 2 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 3 | Removal of Existing Riprap | LS | 1 | \$ 5,000 | \$ 5,000 |
| 4 | Granular Borrow | CY | 1,700 | \$ 52 | \$ 89,000 |
| 5 | Aggregate Base Course - Type A | CY | 1,010 | \$ 80 | \$ 81,000 |
| 6 | Aggregate Base Course - Type C | CY | 150 | \$ 75 | \$ 12,000 |
| 7 | Aggregate Base Course - Type D | CY | 150 | \$ 70 | \$ 11,000 |
| 8 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 80 | \$ 200 | \$ 16,000 |
| 9 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 10 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 11 | Pedestrian Handrail | LF | 269 | \$ 200 | \$ 54,000 |
| 12 | Loam, Seed & Wetland Restoration | LS | 1 | \$ 15,000 | \$ 15,000 |
| 13 | Signage | LS | 1 | \$ 1,000 | \$ 1,000 |
| 14 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 15 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 75,000 | \$ 75,000 |
| 16 | Mechanically Stabilized Earth Retaining Wall System (Sierra Scape) | SF | 3760 | \$ 120.00 | \$ 452,000 |
| 17 | Adjacent Property Restoration Allowance | LS | 1 | \$ 50,000 | \$ 50,000 |
| 18 | Mobilization (8% of Phased Construction Cost) | LS | 1 | \$ 150,000 | \$ 150,000 |
| Construction - Water Utility Improvements | | | | | |
| 19 | Water Line Replacement | LF | 1,083 | \$ 200 | \$ 216,600 |
| Construction - Post 1-Year Settlement | | | | | |
| 20 | Removing of Existing Bituminous Pavement | SY | 450 | \$ 6 | \$ 3,000 |
| 21 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 22 | Granular Borrow | CY | 140 | \$ 52 | \$ 8,000 |
| 23 | Aggregate Base Course - Type A | CY | 1,160 | \$ 80 | \$ 93,000 |
| 24 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 510 | \$ 200 | \$ 102,000 |
| 25 | Hot Mix Asphalt, 9.5 mm Nominal Maximum Size | TON | 300 | \$ 200 | \$ 60,000 |
| 26 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 27 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 28 | 18 Inch Culvert Pipe Option III | LF | 80 | \$ 140 | \$ 12,000 |
| 29 | 36 Inch Culvert Pipe Option III | LF | 170 | \$ 250 | \$ 43,000 |
| 30 | Catch Basin Type A1-C | EA | 1 | \$ 7,700 | \$ 8,000 |
| 31 | Vertical Curb Type 1 | LF | 750 | \$ 90 | \$ 68,000 |
| 32 | Terminal Curb Type 1 - 7 Foot | EA | 3 | \$ 500 | \$ 2,000 |
| 33 | 4" White or Yellow Painted Pavement Marking Line | LF | 3,250 | \$ 1 | \$ 4,000 |
| 34 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 35 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 75,000 | \$ 75,000 |
| 36 | Wave Wall | SF | 750 | \$ 100 | \$ 75,000 |
| 37 | Precast Concrete Block Gravity Wall | SF | 3,760 | \$ 150 | \$ 564,000 |
| 38 | Underdrain Backfill Material Type B | CY | 30 | \$ 80 | \$ 3,000 |
| 39 | Removal of Unsuitable Soils | CY | 170 | \$ 85 | \$ 15,000 |
| 40 | Mobilization | LS | 1 | \$ 150,000 | \$ 150,000 |
| 41 | 1-Year Escalation Allowance | LS | 1 | \$ 50,000 | \$ 50,000 |
| Construction Subtotal | | | | | \$ 2,681,600 |
| | | | | Design Contingency (25%) | \$ 670,400 |
| | | | | Owner Contingency (10%) | \$ 268,160 |
| | | | | In Lieu Compensation Allowance | \$ 45,778 |
| | | | | Field Work and Preliminary Engineering Design Services | \$ 97,300 |
| | | | | Final Engineering Design, Permitting, Bid Services (Allowance) | \$ 125,000 |
| | | | | Construction Administration Services (Allowance) | \$ 75,000 |
| Total Project Cost | | | | | \$3,963,238 |

Notes: 1. General conditions, contractor overhead and profit are spread across unit items; 2. Total costs per unit item have been rounded to the nearest thousandth. 3. Work zone traffic control assumes a temporary road will not be constructed, roadway detour will be used.



Project Name: Ocean Ave Reconstruction
 Project Number: 203806.41
 Date: March 2024

| Ocean Ave Reconstruction Elevation 13 - Rockery Wall Option Engineer's Opinion of Probable Project Cost - Conceptual Design Estimate | | | | | |
|--|---|------|----------|--|---------------------|
| No. | Description | Unit | Quantity | Unit Price | Total Cost |
| Construction - Road Improvements to Allow Settlement (Gravel Road Interim Condition) | | | | | |
| 1 | Removing of Existing Bituminous Pavement | SY | 4,030 | \$ 6 | \$ 25,000 |
| 2 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 3 | Removal of Existing Riprap | LS | 1 | \$ 5,000 | \$ 5,000 |
| 4 | Granular Borrow | CY | 2,420 | \$ 52 | \$ 126,000 |
| 5 | Aggregate Base Course - Type A | CY | 1,010 | \$ 80 | \$ 81,000 |
| 6 | Aggregate Base Course - Type C | CY | 150 | \$ 75 | \$ 12,000 |
| 7 | Aggregate Base Course - Type D | CY | 150 | \$ 70 | \$ 11,000 |
| 8 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 80 | \$ 200 | \$ 16,000 |
| 9 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 10 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 11 | Pedestrian Handrail | LF | 0 | \$ 200 | \$ - |
| 12 | Rip Rap | CY | 0 | \$ 120 | \$ - |
| 13 | Loam, Seed & Wetland Restoration | LS | 1 | \$ 15,000 | \$ 15,000 |
| 14 | Signage | LS | 1 | \$ 1,000 | \$ 1,000 |
| 15 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 16 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 60,000 | \$ 60,000 |
| 17 | Adjacent Property Restoration Allowance | LS | 1 | \$ 50,000 | \$ 50,000 |
| 18 | Mobilization (8% of Phased Construction Cost) | LS | 1 | \$ 150,000 | \$ 150,000 |
| Construction - Water Utility Improvements | | | | | |
| 19 | Water Line Replacement | LF | 1,083 | \$ 200 | \$ 216,600 |
| Construction - Post 1-Year Settlement | | | | | |
| 20 | Removing of Existing Bituminous Pavement | SY | 450 | \$ 6 | \$ 3,000 |
| 21 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 22 | Granular Borrow | CY | 220 | \$ 52 | \$ 12,000 |
| 23 | Aggregate Base Course - Type A | CY | 1,160 | \$ 80 | \$ 93,000 |
| 24 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 510 | \$ 200 | \$ 102,000 |
| 25 | Hot Mix Asphalt, 9.5 mm Nominal Maximum Size | TON | 300 | \$ 200 | \$ 60,000 |
| 26 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 27 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 28 | 18 Inch Culvert Pipe Option III | LF | 80 | \$ 140 | \$ 12,000 |
| 29 | 36 Inch Culvert Pipe Option III | LF | 170 | \$ 250 | \$ 43,000 |
| 30 | Catch Basin Type A1-C | EA | 1 | \$ 7,700 | \$ 8,000 |
| 31 | Vertical Curb Type 1 | LF | 750 | \$ 90 | \$ 68,000 |
| 32 | Terminal Curb Type 1 - 7 Foot | EA | 3 | \$ 500 | \$ 2,000 |
| 33 | 4" White or Yellow Painted Pavement Marking Line | LF | 3,250 | \$ 1 | \$ 4,000 |
| 34 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 35 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 60,000 | \$ 60,000 |
| 36 | Rockery Wall | SF | 3,760 | \$ 100 | \$ 376,000 |
| 37 | Wave Wall | SF | 750 | \$ 100 | \$ 75,000 |
| 38 | Underdrain Backfill Material Type B | CY | 30 | \$ 80 | \$ 3,000 |
| 39 | Removal of Unsuitable Soils | CY | 242 | \$ 85 | \$ 21,000 |
| 40 | Mobilization | LS | 1 | \$ 100,000 | \$ 100,000 |
| 41 | 1-Year Escalation Allowance | LS | 1 | \$ 50,000 | \$ 50,000 |
| Construction Subtotal | | | | | \$ 1,954,600 |
| | | | | Design Contingency (15%) | \$ 293,190 |
| | | | | Owner Contingency (10%) | \$ 195,460 |
| | | | | In Lieu Compensation Allowance | \$ 116,912 |
| | | | | Field Work and Preliminary Engineering Design Services | \$ 97,300 |
| | | | | Final Engineering Design, Permitting, Bid Services (Allowance) | \$ 125,000 |
| | | | | Construction Administration Services (Allowance) | \$ 75,000 |
| Total Project Cost | | | | | \$2,857,462 |

Notes: 1. General conditions, contractor overhead and profit are spread across unit items; 2. Total costs per unit item have been rounded to the nearest thousandth. 3. Work zone traffic control assumes a temporary road will not be constructed, roadway detour will be used.



Project Name: Ocean Ave Reconstruction
 Project Number: 203806.41
 Date: March 2024

| Ocean Ave Reconstruction Elevation 14 - Retaining Wall Option Engineer's Opinion of Probable Project Cost - Conceptual Design Estimate | | | | | |
|--|--|------|----------|--|---------------------|
| No. | Description | Unit | Quantity | Unit Price | Total Cost |
| Construction - Road Improvements to Allow Settlement (Gravel Road Interim Condition) | | | | | |
| 1 | Removing of Existing Bituminous Pavement | SY | 4,030 | \$ 6 | \$ 25,000 |
| 2 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 3 | Removal of Existing Riprap | LS | 1 | \$ 5,000 | \$ 5,000 |
| 4 | Granular Borrow | CY | 3,060 | \$ 52 | \$ 160,000 |
| 5 | Aggregate Base Course - Type A | CY | 1,010 | \$ 80 | \$ 81,000 |
| 6 | Aggregate Base Course - Type C | CY | 150 | \$ 75 | \$ 12,000 |
| 7 | Aggregate Base Course - Type D | CY | 150 | \$ 70 | \$ 11,000 |
| 8 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 80 | \$ 200 | \$ 16,000 |
| 9 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 10 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 11 | Pedestrian Handrail | LF | 269 | \$ 200 | \$ 54,000 |
| 12 | Loam, Seed & Wetland Restoration | LS | 1 | \$ 15,000 | \$ 15,000 |
| 13 | Signage | LS | 1 | \$ 1,000 | \$ 1,000 |
| 14 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 15 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 79,500 | \$ 79,500 |
| 16 | Mechanically Stabilized Earth Retaining Wall System (Sierra Scape) | SF | 4200 | \$ 120 | \$ 504,000 |
| 17 | Adjacent Property Restoration Allowance | LS | 1 | \$ 50,000 | \$ 50,000 |
| 18 | Mobilization (8% of Phased Construction Cost) | LS | 1 | \$ 150,000 | \$ 150,000 |
| Construction - Water Utility Improvements | | | | | |
| 19 | Water Line Replacement | LF | 1,083 | \$ 200 | \$ 216,600 |
| Construction - Post 1-Year Settlement | | | | | |
| 20 | Removing of Existing Bituminous Pavement | SY | 450 | \$ 6 | \$ 3,000 |
| 21 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 22 | Granular Borrow | CY | 280 | \$ 52 | \$ 15,000 |
| 23 | Aggregate Base Course - Type A | CY | 1,160 | \$ 80 | \$ 93,000 |
| 24 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 510 | \$ 200 | \$ 102,000 |
| 25 | Hot Mix Asphalt, 9.5 mm Nominal Maximum Size | TON | 300 | \$ 200 | \$ 60,000 |
| 26 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 27 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 28 | 18 Inch Culvert Pipe Option III | LF | 80 | \$ 140 | \$ 12,000 |
| 29 | 36 Inch Culvert Pipe Option III | LF | 170 | \$ 250 | \$ 43,000 |
| 30 | Catch Basin Type A1-C | EA | 1 | \$ 7,700 | \$ 8,000 |
| 31 | Vertical Curb Type 1 | LF | 750 | \$ 90 | \$ 68,000 |
| 32 | Terminal Curb Type 1 - 7 Foot | EA | 3 | \$ 500 | \$ 2,000 |
| 33 | 4" White or Yellow Painted Pavement Marking Line | LF | 3,250 | \$ 1 | \$ 4,000 |
| 34 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 35 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 79,500 | \$ 79,500 |
| 36 | Precast Concrete Block Gravity Wall | SF | 4,200 | \$ 150 | \$ 630,000 |
| 37 | Wave Wall | | | | |
| 38 | Underdrain Backfill Material Type B | CY | 30 | \$ 80 | \$ 3,000 |
| 39 | Removal of Unsuitable Soils | CY | 306 | \$ 85 | \$ 27,000 |
| 40 | Mobilization | LS | 1 | \$ 150,000 | \$ 150,000 |
| 41 | 1-Year Escalation Allowance | LS | 1 | \$ 50,000 | \$ 50,000 |
| Construction Subtotal | | | | | \$ 2,823,600 |
| | | | | Design Contingency (25%) | \$ 705,900 |
| | | | | Owner Contingency (10%) | \$ 282,360 |
| | | | | In Lieu Compensation Allowance | \$ 45,778 |
| | | | | Field Work and Preliminary Engineering Design Services | \$ 97,300 |
| | | | | Final Engineering Design, Permitting, Bid Services (Allowance) | \$ 125,000 |
| | | | | Construction Administration Services (Allowance) | \$ 75,000 |
| Total Project Cost | | | | | \$4,154,938 |

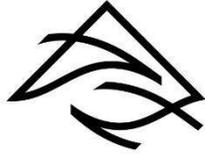
Notes: 1. General conditions, contractor overhead and profit are spread across unit items; 2. Total costs per unit item have been rounded to the nearest thousandth. 3. Work zone traffic control assumes a temporary road will not be constructed, roadway detour will be used.



Project Name: Ocean Ave Reconstruction
 Project Number: 203806.41
 Date: March 2024

| Ocean Ave Reconstruction Elevation 14 - Rockery Wall Option Engineer's Opinion of Probable Project Cost - Conceptual Design Estimate | | | | | |
|--|---|------|----------|--|---------------------|
| No. | Description | Unit | Quantity | Unit Price | Total Cost |
| Construction - Road Improvements to Allow Settlement (Gravel Road Interim Condition) | | | | | |
| 1 | Removing of Existing Bituminous Pavement | SY | 4,030 | \$ 6 | \$ 25,000 |
| 2 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 3 | Removal of Existing Riprap | LS | 1 | \$ 5,000 | \$ 5,000 |
| 4 | Granular Borrow | CY | 4,120 | \$ 52 | \$ 215,000 |
| 5 | Aggregate Base Course - Type A | CY | 1,010 | \$ 80 | \$ 81,000 |
| 6 | Aggregate Base Course - Type C | CY | 150 | \$ 75 | \$ 12,000 |
| 7 | Aggregate Base Course - Type D | CY | 150 | \$ 70 | \$ 11,000 |
| 8 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 80 | \$ 200 | \$ 16,000 |
| 9 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 10 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 11 | Pedestrian Handrail | LF | 269 | \$ 200 | \$ 54,000 |
| 12 | Rip Rap | CY | 0 | \$ 120 | \$ - |
| 13 | Loam, Seed & Wetland Restoration | LS | 1 | \$ 15,000 | \$ 15,000 |
| 14 | Signage | LS | 1 | \$ 1,000 | \$ 1,000 |
| 15 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 16 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 61,500 | \$ 62,000 |
| 17 | Adjacent Property Restoration Allowance | LS | 1 | \$ 50,000 | \$ 50,000 |
| 18 | Mobilization (8% of Phased Construction Cost) | LS | 1 | \$ 150,000 | \$ 150,000 |
| Construction - Water Utility Improvements | | | | | |
| 19 | Water Line Replacement | LF | 1,083 | \$ 200 | \$ 216,600 |
| Construction - Post 1-Year Settlement | | | | | |
| 20 | Removing of Existing Bituminous Pavement | SY | 450 | \$ 6 | \$ 3,000 |
| 21 | Pavement Butt Joints | LF | 120 | \$ 30 | \$ 4,000 |
| 22 | Granular Borrow | CY | 390 | \$ 52 | \$ 21,000 |
| 23 | Aggregate Base Course - Type A | CY | 1,160 | \$ 80 | \$ 93,000 |
| 24 | Hot Mix Asphalt, 19 mm Nominal Maximum Size | TON | 510 | \$ 200 | \$ 102,000 |
| 25 | Hot Mix Asphalt, 9.5 mm Nominal Maximum Size | TON | 300 | \$ 200 | \$ 60,000 |
| 26 | Bituminous Tack Coat, Applied | LS | 1 | \$ 1,000 | \$ 1,000 |
| 27 | Guardrail - Type 3 Single Rail | LF | 436 | \$ 60 | \$ 27,000 |
| 28 | 18 Inch Culvert Pipe Option III | LF | 80 | \$ 140 | \$ 12,000 |
| 29 | 36 Inch Culvert Pipe Option III | LF | 170 | \$ 250 | \$ 43,000 |
| 30 | Catch Basin Type A1-C | EA | 1 | \$ 7,700 | \$ 8,000 |
| 31 | Vertical Curb Type 1 | LF | 750 | \$ 90 | \$ 68,000 |
| 32 | Terminal Curb Type 1 - 7 Foot | EA | 3 | \$ 500 | \$ 2,000 |
| 33 | 4" White or Yellow Painted Pavement Marking Line | LF | 3,250 | \$ 1 | \$ 4,000 |
| 34 | Temporary Soil Erosion and Water Pollution Control | LS | 1 | \$ 15,000 | \$ 15,000 |
| 35 | Work Zone Traffic Control (3% of Total Construction Cost) | LS | 1 | \$ 61,500 | \$ 62,000 |
| 36 | Rockery Wall | SF | 4,200 | \$ 100 | \$ 420,000 |
| 37 | Wave Wall | SF | 750 | \$ 100 | \$ 75,000 |
| 38 | Underdrain Backfill Material Type B | CY | 30 | \$ 80 | \$ 3,000 |
| 39 | Removal of Unsuitable Soils | CY | 412 | \$ 85 | \$ 36,000 |
| 40 | Mobilization (8% of Phased Construction Cost) | LS | 1 | \$ 100,000 | \$ 100,000 |
| 41 | 1-Year Escalation Allowance (assumed 3%) | LS | 1 | \$ 50,000 | \$ 50,000 |
| Construction Subtotal | | | | | \$ 2,169,600 |
| | | | | Design Contingency (15%) | \$ 325,440 |
| | | | | Owner Contingency (10%) | \$ 216,960 |
| | | | | In Lieu Compensation Allowance | \$ 142,494 |
| | | | | Field Work and Preliminary Engineering Design Services | \$ 97,300 |
| | | | | Final Engineering Design, Permitting, Bid Services (Allowance) | \$ 125,000 |
| | | | | Construction Administration Services (Allowance) | \$ 75,000 |
| Total Project Cost | | | | | \$3,151,794 |

Notes: 1. General conditions, contractor overhead and profit are spread across unit items; 2. Total costs per unit item have been rounded to the nearest thousandth. 3. Work zone traffic control assumes a temporary road will not be constructed, roadway detour will be used.



**Woodard
& Curran**



AGENDA ITEM DIVIDER



TOWN OF KENNEBUNKPORT, MAINE

- INCORPORATED 1653 -

Certificate of Commitment of Sewer User Rates

To: Nicole Evangelista, the treasurer of the municipality of Kennebunkport, Maine.

We, the undersigned municipal officers of the municipality of Kennebunkport, hereby certified and commit to you a true list of the sewer rates established by us pursuant to 30-A M.R.S.A. § 3406 for those properties, units, and structures required by local and State law to pay a sewer rate to the municipality, for the period beginning January 1, 2024 and ending December 31, 2024. This list is comprised of the pages numbered 1 to 71 inclusive which are attached to this certificate. The date(s) on which the rates included in this list are due and payable is (are) June 5, 2024. You are hereby required to collect from each person named in the attached list his or her respective amount as indicated in the list, the sum of those lists being \$1,639,892.73. You are hereby required to charge interest at a rate of 8.50% per annum on any unpaid account balance beginning June 6, 2024. You are hereby authorized to collect these rates and any accrued interest by any means legally available to you under State law. On or before December 31, 2024 you shall complete and make an account of your collections of the whole sum herein committed to you.

Given under our hands this 25th day of April 2024.

Municipal Officers, Town of Kennebunkport

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|-----|------|----------|------|------|----------|----------|----------|--|
| *1 | 0 | 0 | 6,548.70 | 0.00 | 0.00 | 0.00 | 0.00 | 6,548.70 | 190 BOUGHTON HOTEL CORPORATION |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 723 WENTWORTH-BENNETT, TERRI L & MICHAEL A |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 897 GROTH, KEVIN P & LORI D |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 945 EATON, GARY |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1039 CULOT, LOUIS J JR & MACK, CHELSEA M |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1044 FREDERICK, SR, CHRISTOPHER L |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1050 ROBERT & ANDREA MARICICH FAMILY TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1104 WENDY B CASE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1478 MATRICK REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1594 MAIUCCORO, CATHIANN |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1613 MCMULLEN, MIRRIL & COHEN, BARRIE |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1615 ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1616 CHEESMAN, CLAIRE |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1617 KNOX, ELIZABETH H & FRANCIS V JR |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1620 DURKIN, WILLIAM & DONNA |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1621 SHORE, WILLIAM H & ROSEMARY J |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1622 TRACY L DURCAN REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1623 CAMPBELL, ANN W |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1624 DELAGE, NORMAN |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1625 FARRELL, NANCY |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1626 SHARPE, TRACEY L |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1627 ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1629 SOUTH MAINE, LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|----------|------|------|----------|----------|----------|---------|-----------------------------------|
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1630 | ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1631 | ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1632 | ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1633 | ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1634 | KPT COTTAGE 7, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1635 | KLEINMAN, LINDA T & JEFFREY H |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1636 | KENNETH J GIMBEL REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1637 | JUDGE, STEPHEN D |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1638 | ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1639 | ATLANTIC RESORT HOLDINGS, LLC |
| *1 | 0 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1640 | REDMOND, JOHN J & STEPHANIE T |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1641 | KENNETH J GIMBEL REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1647 | BROOKS, LORRAINE E |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1649 | DANA T HOLLAND REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1650 | 91A-B OCEAN AVENUE COTTAGE, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1652 | MEAGHER FAMILY REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1654 | 6 HIDDEN HILL, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1655 | ALTMAN, SPENCER D & AARON D |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1656 | ADAMS, CHARLES & ELIZABETH |
| *1 | 0 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1657 | M3300790 CANADA INC - MOLSON ERIC |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|-----|------|----------|------|------|----------|----------|----------|---|
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1658 MARROCCO REVOCABLE JOINT TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1659 5 BELLEWOOD AVENUE, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1660 BROWNROCK MAINE, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1661 MARAVELIS, ARTHUR E |
| *1 | 0 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1662 FYUGO 1ST FAMILY TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1663 TIGER ELEVEN, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1664 BELLIA, SALVATORE & LAURA 2015 TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1665 JOHNSON, DONALD J |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1666 TOWNSLEY, SUSAN P & DAVIS, GREGORY O |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1667 LEAHY, LEE A |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1675 ROSS, AMY A & KENNETH L |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1676 MARION T DAVIDSON REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1677 JOSHUA D FOX REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1678 DEBORAH L JANTZEN TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1693 PHILLIPS, NICHOLAS & JUDITH |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1695 LAMB, ALLYN & NORMA |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1696 KNERAM, KATHLEEN & DAVID |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1698 CHRISTOS & HANNAH COTSAKOS TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1699 FRIES, THOMAS A & JENNIFER |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1700 CAIRA FAMILY INVESTMENT TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1701 TLM JR MEMORIAL TRUST AGREEMENT |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1702 KINGS HIGHWAY REALTY, LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1703 | HENRY, CHRISTIAN O & CHRISTA P |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1704 | LORDEN, PETER J & PAULINE F |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1705 | LORD, KEVIN M & KELLY M |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1706 | MAINE, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1707 | ELSA H QUINN IRREVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1708 | MICHAUD, JOYCE M & DIMITRI M |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1709 | TOMASULO, MICHAEL & MELISSA |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1710 | WEIDNER, WILLIAM E & CYNTHIA L |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1711 | COBURN, DONALD W JR |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1712 | KING-GUFFEY TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1713 | KING FAMILY TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1714 | KING, DOROTHY J |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1717 | EMMERT, ROBERT Y & JOSEPHINE A |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1718 | MATTHEWS, KYLE H |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1720 | WARNER, HANS & SUSAN LEE |
| *1 | 0 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1722 | TMW PROPERTIES, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1723 | 162 KINGS HIGHWAY REALTY TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14198 | LESLIE B DOWLING REVOCABLE LIVING TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14199 | VAN LULING, RYAN P & ANDREA M |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14200 | HETZ FAMILY TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14201 | TANGO REAL ESTATE, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14202 | 2538970 ONTARIO, INC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14203 | BOARDMAN, SANDRA D |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|---------|------|------|----------|----------|--------|---------|---------------------------------------|
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14204 | SCRIBNER, ROBERT H & JULIAN, CLAIRE A |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14205 | JANN B LEVIN REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14206 | MAGILL, CYNTHIA E & JEFFREY L |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14207 | HUBACZ, CATHERINE |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14208 | CARON, JOHN V |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14209 | WOODMAN PROPERTIES LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14210 | DAHER, KENNETH E & MARY ELIZABETH |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14211 | PEARLMUTTER, NINA & FRINK, ORRIN |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14212 | BARBARA F O'HARA REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14213 | POWELL LIVING TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14214 | KIECKHAFFER, WILLIAM L & REGINA M |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14215 | MCSWEENEY FAMILY REVOCABLE TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14216 | GOLINI, DONALD J & KATHLEEN E |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14217 | FRENCH, RONALD G & JODI G |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14218 | MARTIN, KRISTYN R |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14219 | WALSH, LORRAINE M |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14220 | HUTCHINS, DEXTER & DANA & MARY R |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | -18.76 | 0.00 | 636.11 | 14254 | WALSH, RICHARD F |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14259 | DOYLE, JOHN P |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14260 | BOUCHER, KRISTINA |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | -0.25 | 0.00 | 654.62 | 14261 | LOT 8 BOATSWAIN LANE, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14262 | O'SULLIVAN, AMY |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14263 | KUENZEL, STEFAN & DARCY |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|-----|------|----------|------|------|----------|----------|----------|---------------------------------------|
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14264 TIZA, LLC |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14265 HETZLER, CORINNE E & KENNETH A |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14266 NEW, COREY A & KARLA H |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 1.31 | 0.02 | 656.20 | 14267 MATTHEWS, MITCHELL F & EMILY W |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14268 JANICE CHRISTO TRUST |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14269 HORIGAN, RICHARD T & KATHLEEN A |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14270 SOBEL, THEODORE |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14271 SMITH, BLAIR A & RHONDA M |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14272 KOVACS, GENE & HSU, AMY C |
| *1 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14273 ST. MARTIN, RAYMOND & CATHERINE |
| *1 | 1 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1598 IZBICKI, JENIFER B & RICHARD R |
| *1 | 5 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1618 WIEWEL, MICHAEL & SUSAN |
| *1 | 8 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 8 DALEY, CYNTHIA C |
| *1 | 10 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 2 STONEHOUSE, LLC |
| *1 | 11 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 10 DICKSON, DAVID M JR & AMELIA D |
| *1 | 15 | 0 | 2,619.48 | 0.00 | 0.00 | 0.00 | 0.00 | 2,619.48 | 3 ST. ANNS EPISCOPAL CHURCH |
| *1 | 20 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 4 KATZ, JOANNE R |
| *1 | 25 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 5 KATZ, MARLA J |
| *1 | 30 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 6 166 OCEAN AVENUE, LLC |
| *1 | 35 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 7 WINDOVER TRUST |
| *1 | 40 | 0 | 6,876.14 | 0.00 | 0.00 | 0.00 | 0.00 | 6,876.14 | 40 IVY ONE, LLC |
| *1 | 44 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 44 GARY A KOCH REVOCABLE TRUST |
| *1 | 45 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 9 COVERT, JODY W |
| *1 | 46 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 46 HEAVEN, MARSHALL H & MARYANN |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|-----------|------|------|----------|----------|-----------|---------|--|
| *1 | 60 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 12 CHARLES P COMERFORD 1999 REVOCABLE TRUST |
| *1 | 70 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 14 WATER STREET WEST, LLC |
| *1 | 75 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 15 ELLIOT J SIDERIDES REVOCABLE TRUST |
| *1 | 76 | 0 | 11,787.66 | 0.00 | 0.00 | 0.00 | 0.00 | 11,787.66 | | 76 CAI PROPERTIES, LLC |
| *1 | 80 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 16 WALKER FAMILY TRUST |
| *1 | 85 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 17 TEDESCO, JOHN A |
| *1 | 90 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 18 DAY, DAVID G & TAMI |
| *1 | 93 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 93 CASSIDY, KATHLEEN A |
| *1 | 95 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 19 ALLEN, ANDREW & DENISE |
| *1 | 100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 20 FINE, PHILIP E & BAZELMANS, GENEVIEVE |
| *1 | 105 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 21 HANSEN, CHRISTINA R |
| *1 | 110 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 22 SIMPSON, KEVIN C & STEPHANIE L |
| *1 | 115 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 23 FRIOT, CHRISTOPHER & JANET |
| *1 | 120 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 24 FREDERICK L FOX TRUST |
| *1 | 121 | 0 | 3,929.22 | 0.00 | 0.00 | 0.00 | 0.00 | 3,929.22 | | 121 OCEAN AVE B&B, LLC |
| *1 | 123 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 123 HOMER, CHESTER E, III |
| *1 | 125 | 0 | 654.87 | 0.00 | 0.00 | -0.50 | 0.00 | 654.37 | | 25 DAWS, KENNA |
| *1 | 130 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 26 KENNEDY, MICHAEL C |
| *1 | 135 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 27 KUHN, SUSAN J |
| *1 | 140 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 28 RICHARDSON FAMILY IRREVOCABLE TRUST |
| *1 | 145 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 29 HANSEN, CHRISTINA |
| *1 | 150 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 30 SENNOTT, EDWARD J & MARTHA A |
| *1 | 155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 31 REGAN FAMILY TRUST |
| *1 | 160 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 32 JOSEPH P & VICKI F DECHIAZZA REVOCABLE T |
| *1 | 162 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 162 HASSA, LLC |
| *1 | 165 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 33 RINEHART, DONALD J & CHRISTINE M |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 170 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 34 RODIGER, WILLIAM K |
| *1 | 173 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 173 DONAGHY, MICHAEL RS & VICTORIA L |
| *1 | 175 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 35 DAKIN, MICHAEL N & MAKI, ANNE E |
| *1 | 180 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 36 IVY ONE, LLC |
| *1 | 185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 37 HANNON, PATRICIA & WALTER LIFE ESTATE |
| *1 | 190 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 38 JOANNE M POWELL REVOCABLE TRUST |
| *1 | 195 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 39 FRAWLEY, ANDREW & JULIANNE |
| *1 | 202 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 202 MAINE HOME, LLC |
| *1 | 205 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 41 RAY, LORI A |
| *1 | 210 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 42 LEMAITRE, KATHLEEN M & DALY, BRIEN |
| *1 | 215 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 43 MAIUCORO, CATHIANN |
| *1 | 222 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 222 WHITE, PRISCILLA K |
| *1 | 230 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 230 RUSSELL, THOMAS |
| *1 | 235 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 47 DOUGLAS C JOHNSTON FAMILY TRUST |
| *1 | 236 | 0 | 654.87 | 0.00 | 0.00 | 122.76 | 1.40 | 779.03 | | 236 12 LOCKE STREET REALTY TRUST |
| *1 | 240 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 48 GIANCAMILLI, ANDREW & GEORGIANA B |
| *1 | 241 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 241 SWERDLIN, AARON & KAREN R |
| *1 | 245 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 49 BROOKS-WARDROP, LLC |
| *1 | 255 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 51 SPILLANE, RICHARD J & CHRISTINE E |
| *1 | 263 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 263 BENT, CHRISTOPHER & CHRISTINA |
| *1 | 265 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 53 BRYAN, JOHN R & CARTER A |
| *1 | 268 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 268 LEBRUN, ERICK S & KATHERINE W |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|---------|------|------|----------|----------|--------|---------|--|
| *1 | 270 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 54 ANDREA T NOTMAN SAHIN SHARE TRUST |
| *1 | 280 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 56 NIETO, ANNE-LOUISE & BIGLIANI, SUZANNE A |
| *1 | 285 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 57 NINE OLD FORT, LLC |
| *1 | 290 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 58 LINCOLN, BRIAN C |
| *1 | 295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 59 LAMARRE, VICTORIA & KOEHLER, CYNTHIA R |
| *1 | 296 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 296 SCHRIESHEIM, CHESTER A & LINDA M |
| *1 | 300 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 60 HEMINWAY, ELIZABETH R |
| *1 | 309 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 309 BOWEN, ROBERT M & ANNE L |
| *1 | 310 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 62 PALMISANO, SAMUEL & GAIER N |
| *1 | 315 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 63 NEVINS, KRISTAN K & KYLE W |
| *1 | 317 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 317 ROBERT & MARY-ELLEN PRESCOTT REVOCABLE F |
| *1 | 318 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 318 CONRAD, ELIZABETH P & RICHARD J |
| *1 | 319 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 319 WENTWORTH, SUSAN M |
| *1 | 320 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 64 MOLLER FAMILY KENNEBUNKPORT RE TRUST |
| *1 | 321 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 321 WEST, RICHARD T |
| *1 | 325 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 65 PORTOFINO REALTY TRUST |
| *1 | 330 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 66 GRAYLING, LLC |
| *1 | 335 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 67 ELICKER, JOAN C TRUSTEE |
| *1 | 340 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 68 FIVE CENTS, LLC |
| *1 | 345 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 69 ROCK LEDGE, LLC |
| *1 | 355 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 71 HETZ FAMILY TRUST |
| *1 | 360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 72 RIMMER FAMILY SPOUTING ROCK TRUST |
| *1 | 365 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 73 SLAGER, RANDY J & BAIRD, SYBIL K |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 370 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 74 GRANETZ, MARC D & KRISTINE K |
| *1 | 372 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 372 BARTLETT, HUGH J & JUDITH |
| *1 | 375 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 75 PERKINS, GILMAN C & MILLARD, JAYNE |
| *1 | 385 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 77 SCANNELL, JOHN W & BELL, LORI L |
| *1 | 388 | 0 | 3,601.78 | 0.00 | 0.00 | 0.00 | 0.00 | 3,601.78 | | 388 KENNEBUNKPORT CAPTAINS COLLECTION, LLC |
| *1 | 390 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 390 DAVID L KELLY FAMILY TRUST |
| *1 | 395 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 79 HYMAN, DIANE J & SEBOTNICK, ALLAN B |
| *1 | 400 | 0 | 654.87 | 0.00 | 0.00 | -8.75 | 0.00 | 646.12 | | 80 POINT ARUNDEL SEASCAPE, LLC |
| *1 | 405 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 81 TRIMPER, DANIEL IV & JANET H TRUSTEES |
| *1 | 410 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 82 CECILIA ALTHOFF REVOCABLE LIVING TRUST |
| *1 | 415 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 83 47 BAY STATE ROAD REALTY TRUST |
| *1 | 420 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 84 PLUNKETT, ROBERT E & CATHERINE |
| *1 | 425 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 425 WINSTANLEY, ADAM D |
| *1 | 430 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 86 MCCARTHY, KEVIN & ANDREA |
| *1 | 435 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | | 87 PATRICIA L DUKAKIS 2009 REVOCABLE TRUST |
| *1 | 440 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 88 PEPPER, RANDOLPH & SUTTON, JENNIFER |
| *1 | 445 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 89 COLE REVOCABLE LIVING TRUST |
| *1 | 450 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 90 JAKMAR REAL ESTATE INC. |

Created Bills Report

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|-----------|------|------|----------|----------|-----------|---------|--|
| *1 | 455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 91 JANE E DEMPSEY REVOCABLE TRUST |
| *1 | 460 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 92 JOHNSON, FRED M |
| *1 | 464 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 464 VANSONS, INCORPORATED |
| *1 | 465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 465 KLH EXPORTS/IMPORTS, LLC |
| *1 | 466 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 466 SHMALO, A NATHAN |
| *1 | 467 | 0 | 6,876.14 | 0.00 | 0.00 | 0.00 | 0.00 | 6,876.14 | | 467 ATLANTIC COAST HOSPITALITY, LLC |
| *1 | 470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 94 DAVIS, MICHELLE K |
| *1 | 475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 95 DANFORTH, TOBIAS F & ALDEN, ALISON |
| *1 | 480 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 96 NANCY R O'NEILL REVOCABLE TRUST |
| *1 | 485 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 97 LAMBROS SIDERIDES TRUST |
| *1 | 490 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 98 POIRIER FAMILY REVOCABLE TRUST |
| *1 | 495 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 99 LANDERGAN, MARY |
| *1 | 500 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 100 OCEAN POINT KPT, LLC |
| *1 | 502 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 502 LATCHFORD, MICHAEL & DONNELLY, RYAN |
| *1 | 505 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 101 SMITH, ROBERT N & MARY LOU |
| *1 | 510 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 102 MARIE B HENRIKSEN REVOCABLE TRUST |
| *1 | 515 | 0 | 19,122.20 | 0.00 | 0.00 | -38.56 | 0.00 | 19,083.64 | | 103 BREAKWATER- KENNEBUNKPORT, LLC |
| *1 | 520 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 104 RIVERSIDE COTTAGE, LLC |
| *1 | 524 | 0 | 4,584.09 | 0.00 | 0.00 | 0.00 | 0.00 | 4,584.09 | | 524 RSU 21 |
| *1 | 525 | 0 | 11,132.79 | 0.00 | 0.00 | 0.00 | 0.00 | 11,132.79 | | 105 BREAKWATER- KENNEBUNKPORT, LLC |
| *1 | 530 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 106 SEACOAST HOLDINGS, LLC |
| *1 | 535 | 0 | 3,274.35 | 0.00 | 0.00 | 0.00 | 0.00 | 3,274.35 | | 107 KENNEBUNK RIVER CLUB |
| *1 | 540 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 108 JOHN F RINALDI REVOCABLE TRUST |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|-----------|------|------|----------|----------|-----------|---------|--|
| *1 | 545 | 0 | 59,986.09 | 0.00 | 0.00 | 0.00 | 0.00 | 59,986.09 | | 109 SEASIDE HOTEL ASSOCIATES LIMITED |
| *1 | 548 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 548 STAMPLIS, JOANNE M & MATTHEW |
| *1 | 550 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 110 91 AB OCEAN AVENUE COTTAGE, LLC |
| *1 | 555 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 111 91 OCEAN AVENUE COTTAGE, LLC |
| *1 | 560 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 112 CHESTER E & SHIRLEY B HOMER REVOCABLE TR |
| *1 | 565 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 113 BARNES, ANNE F |
| *1 | 566 | 0 | 1,964.61 | 0.00 | 0.00 | -0.02 | 0.00 | 1,964.59 | | 566 CABE, MARIO & JOANN |
| *1 | 570 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 114 WINSTANLEY, MELISSA F |
| *1 | 574 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 574 VANDER SCHAAFF, THOMAS L & SARAH M |
| *1 | 575 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 115 OCEAN POINTE, LLC |
| *1 | 580 | 0 | 982.30 | 0.00 | 0.00 | 0.00 | 0.00 | 982.30 | | 116 TIDEMARK CORPORATION |
| *1 | 590 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 118 82 OCEAN AVENUE, LLC |
| *1 | 595 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 119 MADEIRA, MARCIA T |
| *1 | 600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 120 MARY BANKS STROHM REVOCABLE TRUST |
| *1 | 610 | 0 | 2,946.92 | 0.00 | 0.00 | 0.00 | 0.00 | 2,946.92 | | 122 BUCKLEY, CHARLES & ROBIN |
| *1 | 615 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 615 SCHMIDT, ELIZABETH |
| *1 | 620 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 124 ROHRBACKER, LESLIE C & NEIL |
| *1 | 625 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 125 HUGHES, JESSICA |
| *1 | 630 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 126 CHASE, LYNN E |
| *1 | 635 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 127 JEFFREY & KRISTY DOUGLAS REVOCABLE TRUST |
| *1 | 640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 128 LANGSHAW, DEBORAH & SIMON, RANDAL E |
| *1 | 645 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 129 CHICKS CREEK COTTAGE, LLC |
| *1 | 650 | 0 | 21,283.28 | 0.00 | 0.00 | 0.00 | 0.00 | 21,283.28 | | 130 COVESIDE RESORT, LLC |

* = Override

Created Bills Report

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|----------|------|------|----------|----------|----------|---------|-------------------------------------|
| *1 | 655 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 131 | FISCHBACK, DAVID F & BEVERLY A |
| *1 | 660 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 132 | FREDERICK C KAEMMER REVOCABLE TRUST |
| *1 | 665 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 133 | TILNEY, KATHERINE R |
| *1 | 670 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 134 | TILNEY, PETER V & GARVIN, KRISTEN L |
| *1 | 675 | 0 | 2,292.04 | 0.00 | 0.00 | 0.00 | 0.00 | 2,292.04 | 135 | WILLIAMS, EMILY B & SILLS, DIANE M |
| *1 | 675 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 675 | PATTY ANN BENORE TRUST |
| *1 | 677 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 677 | CONATY, HELEN M & JEAN A |
| *1 | 680 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 136 | KPT COTTAGE 14, LLC |
| *1 | 685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 137 | CHASE, LYNN E & TOMPKINS, RICHARD P |
| *1 | 690 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 138 | FEEHAN, JOHN DAVID & KATHRYN |
| *1 | 695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 139 | FRANCIS, EDWARD C & AMY V |
| *1 | 700 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 140 | SIMMONS, CHARLES L & KAY HR |
| *1 | 705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 141 | THIBODEAU, MAXINE & OMER |
| *1 | 710 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 142 | MARLEEN E CLARK LIVING TRUST |
| *1 | 715 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 143 | BRODERICK, PETER M & JOAN M |
| *1 | 720 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 144 | STIRES, DAVID & ALLISON |
| *1 | 735 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 147 | HARDY, S MICHAEL II |
| *1 | 740 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 148 | WATERMAN, JANET |
| *1 | 760 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 152 | ANDERSON, THOMAS E |
| *1 | 763 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 763 | HITZ, JOHN S & HITZ, JUDITH BARNES |
| *1 | 765 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 153 | FRIEDPORTE LIVING TRUST |
| *1 | 769 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 769 | MATTHEWS, KASSANDRA ET AL |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|-----|------|---------|------|------|----------|----------|--------|--|
| *1 | 770 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 154 CHICK, PAUL W & CATHY A |
| *1 | 775 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 155 SOUTH MAIN STREET KPT, LLC |
| *1 | 780 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 156 SOUTH MAIN STREET KPT, LLC |
| *1 | 783 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 783 SMITH, ELIZABETH |
| *1 | 785 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 157 MCDOUGALD, FRANK A |
| *1 | 790 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 158 GUTHRIE, WILLIAM A TRUSTEE |
| *1 | 795 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 159 AUDLEY, LOIS DAIGNAULT & JF CHRISTOPHER |
| *1 | 800 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 160 TREE HOUSE REALTY TRUST |
| *1 | 805 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 161 BARTLETT, DAVID & SUE |
| *1 | 810 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 810 MORGAN, CAROLYN M |
| *1 | 814 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 814 CHAMBERS, JOHN G II & ELIZABETH |
| *1 | 815 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 163 BAJAKIAN, SUSAN J |
| *1 | 820 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 164 ANNE P FAMOLARE REVOCABLE TRUST |
| *1 | 825 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 165 FUSCO, JOHN & ROBIN L |
| *1 | 830 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 166 CHRYSSE C. DOW REVOCABLE TRUST |
| *1 | 833 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 833 MUSE, THOMAS W & SUE ELLEN |
| *1 | 835 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 167 GRIFFIN, MARTHA M |
| *1 | 845 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 169 PERKINS, DONALD F & JEAN M |
| *1 | 850 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 170 DUBAY, ADAM & JENNIFER |
| *1 | 853 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 853 LRH LLC |
| *1 | 855 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 171 OWEN, ANDREW P |
| *1 | 857 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 857 LIGHTHOUSE PROPERTIES, LLC |
| *1 | 860 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 172 LAVERY, BRIAN & JULIE A |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|-----|------|-----------|------|------|----------|----------|-----------|---|
| *1 | 870 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 174 RODIGER, ALBERT A & JENNIFER HW |
| *1 | 875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 175 CONNORS, JAMES P |
| *1 | 880 | 0 | 85,787.97 | 0.00 | 0.00 | 0.00 | 0.00 | 85,787.97 | 176 BOUGHTON HOTEL CORPORATION |
| *1 | 884 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 884 BAILEY, MAUREEN A |
| *1 | 885 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 177 GOLDENFARB, BARBARA J & HOWARD A |
| *1 | 886 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 886 FOLEY, THOMAS J & MARYELLEN |
| *1 | 890 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 178 CARROLL, MICHAEL P |
| *1 | 895 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 179 NOTMAN, DONALD D JR & PAMELA B |
| *1 | 900 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 180 MUNSON, CHRISTOPHER & SUSAN |
| *1 | 905 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 181 SHAW, KEITH S & SHARON L |
| *1 | 910 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 182 SWEET PEA PARTNERS, LLC |
| *1 | 915 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 183 COX, KELLY A |
| *1 | 918 | 0 | 1,309.74 | 0.00 | 0.00 | -9.04 | 0.00 | 1,300.70 | 918 CLANCY, PATRICK E & MARY JANE |
| *1 | 919 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 919 CELI, CHRISTOPHER & SEVERY, SUZANNE |
| *1 | 920 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 184 FORD, ALEXANDRE |
| *1 | 923 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 923 AUSTIN, ROBERTA M |
| *1 | 925 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 185 11 GRANDVIEW AVE LLC |
| *1 | 929 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 929 DAYDREAMER NOMINEE TRUST |
| *1 | 930 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 186 A & W, LLC |
| *1 | 935 | 0 | 6,090.29 | 0.00 | 0.00 | 0.00 | 0.00 | 6,090.29 | 187 124 OCEAN AVE, LLC |
| *1 | 940 | 0 | 6,286.75 | 0.00 | 0.00 | 0.00 | 0.00 | 6,286.75 | 188 126 OCEAN AVENUE KPT, LLC |
| *1 | 945 | 0 | 3,929.22 | 0.00 | 0.00 | 0.00 | 0.00 | 3,929.22 | 189 BOUGHTON HOTEL CORP |
| *1 | 955 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 191 FRISCHER, HARRY & DEBRA K |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|-----------|------|------|----------|----------|-----------|---------|---|
| *1 | 960 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 192 BAKER, CHRISTINE H |
| *1 | 962 | 0 | 13,424.84 | 0.00 | 0.00 | 0.00 | 0.00 | 13,424.84 | | 962 SUR REAL ESTATE, LLC |
| *1 | 965 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 193 PHILLIPS TRUST |
| *1 | 970 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 194 TYNAN, JOSEPH C & PATRICIA L |
| *1 | 980 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 196 CLAUS, WILLIAM C |
| *1 | 985 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 197 JAS REALTY TRUST |
| *1 | 990 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 198 SHARRI LEAR BANDEJAS LIVING TRUST |
| *1 | 995 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 199 CHASE, LYNN E |
| *1 | 1000 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 200 PAPAZ, G MICHAEL & JANE |
| *1 | 1005 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 201 SEASIDE HOTEL ASSOCIATES LIMITED |
| *1 | 1015 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 203 FINEMAN, STANLEY J |
| *1 | 1020 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 204 JOHN F RINALDI REVOCABLE TRUST |
| *1 | 1025 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 205 KLEIN REALTY TRUST |
| *1 | 1030 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 206 FOUR GRANDVIEW, LLC |
| *1 | 1035 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 207 RAYMOND BARRETT PERS RESIDENCE TRUST |
| *1 | 1040 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 208 SCHERER, ELIZABETH A & STEVICK, GLEN R |
| *1 | 1045 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 209 JOHN C LOMBARD TRUST OF 2013 |
| *1 | 1050 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 210 HANSON, CHRISTOPHER & LISA |
| *1 | 1055 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 211 KUEHNLE, JOHN K & KRISTEN |
| *1 | 1060 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 212 NELSON, CLIFTON A JR & DANIELS, ALYSON |
| *1 | 1061 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1061 SEIBEL, KELLY & PETER |
| *1 | 1065 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 213 STEWART, JENIFER J & CHARLES EVAN |
| *1 | 1070 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 214 TARDIFF, JAMES |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|--|
| *1 | 1075 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 215 LORA MCGRATH REVOCABLE TRUST |
| *1 | 1080 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 216 BUCKLEY, ANDREW & GREENE, CYNTHIA |
| *1 | 1085 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 217 EAGLESON, JON |
| *1 | 1095 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 219 KENNEBUNKPORT CONSERVATION TRUST |
| *1 | 1098 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1098 SHARON K HAYES 2002 RESIDENCE TRUST |
| *1 | 1100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 220 TWENTY OAK STREET, LLC |
| *1 | 1105 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 221 SOUTHERN YORK PROPERTIES, LLC |
| *1 | 1115 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 223 BONOGOSKY, ELEXA & HIGGINS, NEIL |
| *1 | 1120 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 224 DONOVAN, LUCILLE |
| *1 | 1125 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 225 TRENCHARD, WEBSTER T & MICHELE A |
| *1 | 1130 | 0 | 654.87 | 0.00 | 0.00 | 72.05 | 3.18 | 730.10 | 226 GILLIAR, MICHAEL & KIMBERLIE |
| *1 | 1135 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 227 CARROLL, DANIEL P & LISA M |
| *1 | 1140 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 228 STANTON, JOHN M & SONDI |
| *1 | 1145 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 229 HENRY, JANET & MOORE, VERNON L |
| *1 | 1155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 231 BUNDY-COHEN DESCENDANTS IRREVOCABLE TRUS |
| *1 | 1160 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 232 MRACHEK, SUSAN E & FEEHAN, BRIAN J |
| *1 | 1165 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 233 CLEMENT, CYNTHIA |
| *1 | 1169 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1169 ROBERT & JANE GARVEY REVOC TRUST |
| *1 | 1170 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 234 BEOTE, RICHARD A |
| *1 | 1171 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1170 JULIAN, NANCIE M |
| *1 | 1180 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1180 GOOSE ROCKS BEACH, LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 1185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 237 SWEETLAND, DAVID R & JOYANNE S REV TRUST |
| *1 | 1190 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 238 GONNELLA, LISA C & ANTHONY J |
| *1 | 1200 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 240 STEVEN M & GAIL F CENTRELLA LIVING TRUST |
| *1 | 1205 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1205 NORWOOD ROAD REALTY TRUST |
| *1 | 1210 | 0 | 654.87 | 0.00 | 0.00 | -0.96 | 0.00 | 653.91 | | 242 NEFF, KIMBERLY |
| *1 | 1215 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 243 39 NORTH PROPERTY HOLDINGS, LLC |
| *1 | 1220 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 244 2 MESERVES LANE, LLC |
| *1 | 1225 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 245 GRAHAM FAMILY TRUST 2012 |
| *1 | 1230 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 246 PREBLE, GAIL G |
| *1 | 1235 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 247 SCHWARTZ, HAROLD E |
| *1 | 1240 | 0 | 654.87 | 0.00 | 0.00 | -0.39 | 0.00 | 654.48 | | 248 VARZAKIS, JAMES G & ROY, RENELLE M |
| *1 | 1245 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 249 ROSS, MARY E |
| *1 | 1250 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 250 VIRLINDA G WALSH TRUST |
| *1 | 1255 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 251 COLLINS, JEROME A & MONIQUE D |
| *1 | 1260 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 252 KRUMSIEK, DAVID W & JAMES H |
| *1 | 1265 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 253 SOUTH CONGREGATIONAL CHURCH |
| *1 | 1270 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 254 UNCLE GF BABA FAMILY IRREVOCABLE TRUST |
| *1 | 1275 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 255 POWELL, DAVID GOULD & ELAINE CATHERINE |
| *1 | 1280 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 256 JAMES, LISANNE A & DAVID E |
| *1 | 1285 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 257 ALTHAM, RICHARD D & JULIET H |
| *1 | 1290 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 258 MCCABE, FRANCIS R |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|---|
| *1 | 1295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 259 MCCLOSKEY, JOHN M & ROBIN L |
| *1 | 1308 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1308 YORK REALTY TRUST |
| *1 | 1320 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 264 MARSTERS, PATRICIA W |
| *1 | 1322 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1322 WINSTON & CHRISTINE RYAN FAMILY REVOC TR |
| *1 | 1325 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 265 HARDY, S MICHAEL II |
| *1 | 1330 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 266 GABRIELIAN, KEVIN & MICHELLE |
| *1 | 1335 | 0 | 4,911.52 | 0.00 | 0.00 | 0.00 | 0.00 | 4,911.52 | 267 KENNEBUNKPORT MOTOR LODGE, LLC |
| *1 | 1340 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1340 KEELER, MAXWELL & PERRIN |
| *1 | 1345 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 269 PAYNE, LEO R & SUZANNE M |
| *1 | 1350 | 0 | 654.87 | 0.00 | 0.00 | -0.58 | 0.00 | 654.29 | 270 BROWN, RITA |
| *1 | 1355 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 271 NORBY, DORSET |
| *1 | 1360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 272 STACK, MICHAEL & KORI |
| *1 | 1365 | 0 | 654.87 | 0.00 | 0.00 | -0.98 | 0.00 | 653.89 | 273 WILLARD, FRANK H |
| *1 | 1370 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 274 MOULTON, JEAN C |
| *1 | 1375 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 275 SHERWOOD REALTY TRUST |
| *1 | 1380 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 276 KVAKA, MARY BETH |
| *1 | 1385 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 277 BUCK, JEFFREY E |
| *1 | 1390 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 278 BOYD, CAROLYN H |
| *1 | 1395 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 279 LENNON, DEBRA A & NILL, THOMAS J |
| *1 | 1400 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 280 DAKERS, DANA O & BELIK, BARBARA I |
| *1 | 1405 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 281 STOCKMAN, JAMES & CORNELIA |
| *1 | 1415 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 283 MAGRI, ALICIA F |
| *1 | 1420 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 284 PAQUETTE, MARK R & CYNTHIA S |
| *1 | 1425 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 285 PERKINS, DONALD F & JEAN M |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 1430 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 286 AMES, TIMOTHY |
| *1 | 1440 | 0 | 654.87 | 0.00 | 0.00 | -737.07 | 0.00 | -82.20 | | 288 ROSS, STEPHEN J & HOLLY C |
| *1 | 1445 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 289 SEVERANCE, MICHAEL O & SANDRA K |
| *1 | 1450 | 0 | 2,619.48 | 0.00 | 0.00 | 0.00 | 0.00 | 2,619.48 | | 290 LORD & HARRINGTON, LLC |
| *1 | 1455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 291 DOYLE, GREGORY & ANN MARIE |
| *1 | 1456 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1456 MALONEY, ALICE S |
| *1 | 1460 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 292 JACKSON, BRUCE R |
| *1 | 1465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 293 DEBENEDICTIS, TERESA H & DANIEL A |
| *1 | 1470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 294 GUTOFF, SOPHIA & EVAN |
| *1 | 1473 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1473 BEACH PLUM, LLC |
| *1 | 1475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 295 PAPPALARDO, ELAINE R |
| *1 | 1485 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 297 COLLINS, KEVIN & PAULA REVOCABLE TRUST |
| *1 | 1490 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 298 MARIANO, CHRISTINE L |
| *1 | 1500 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 300 DARDIA, JANET L |
| *1 | 1507 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1507 BOWLEY, GEOFFREY D & AJA |
| *1 | 1510 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 302 COVEL, WILLIAM P |
| *1 | 1515 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 303 WONG, SAMUEL S & CONSTANCE B |
| *1 | 1520 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 304 ELLIS, BRIAN M & MENDEZ- ELLIS, DINORAH M |
| *1 | 1525 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 305 O'CONNOR, JO-ANNE F |
| *1 | 1535 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 307 NICHOLS REALTY TRUST |
| *1 | 1540 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 308 DIAZ JOINT REVOCABLE TRUST |
| *1 | 1550 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 310 LARGEY, ELIZABETH A |
| *1 | 1555 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 311 MCKAY, SCOTT E |
| *1 | 1560 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 312 SALVADOR, TARA MH & ERIC B |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|-------------------------------------|
| *1 | 1565 | 0 | 654.87 | 0.00 | 0.00 | -3.65 | 0.00 | 651.22 | 313 | JOERGENSEN, TORGRIM & INGUNN M |
| *1 | 1570 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 314 | THOMPSON, JOHN W & TERI L |
| *1 | 1575 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 315 | 9 WASHINGTON COURT REALTY TRUST |
| *1 | 1580 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 316 | LOUCKS, ANDREW C |
| *1 | 1585 | 0 | 2,619.48 | 0.00 | 0.00 | 0.00 | 0.00 | 2,619.48 | 1585 | SHMALO FAMILY, LLC |
| *1 | 1586 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 1586 | SHMALO FAMILY, LLC |
| *1 | 1590 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1590 | KUEHNLE, KRISTEN J |
| *1 | 1596 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1596 | DAVIS, BLAKESLEE G |
| *1 | 1597 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1597 | FIORENTINO, JACQUELINE |
| *1 | 1599 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1599 | MACLEOD FAMILY TRUST |
| *1 | 1600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 320 | HALEY, TIMOTHY M & LYNANNE N |
| *1 | 1601 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1601 | DEREK A WITTNER REVOCABLE TRUST |
| *1 | 1602 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1602 | LUCARELLI, GERMAN A |
| *1 | 1604 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1604 | ELIZABETH R CARET REVOCABLE TRUST |
| *1 | 1605 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1605 | WATSON, THOMAS C & MCCARTHY, JOAN A |
| *1 | 1606 | 0 | 654.87 | 0.00 | 0.00 | -0.13 | 0.00 | 654.74 | 1606 | ISRAEL FAMILY TRUST |
| *1 | 1607 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1607 | WASKIEWICZ, ROBERT J |
| *1 | 1608 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1608 | ATLANTIC COAST HOSPITALITY, LLC |
| *1 | 1610 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 322 | BUCK, SUZANNE EW & JOHN S |
| *1 | 1612 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1612 | DWYER, WALTER T & TERRI L |
| *1 | 1614 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1614 | VERNICK, JOHANNA B & MITCHELL F |
| *1 | 1615 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 323 | GEORGES, STEPHEN & PATRICIA |
| *1 | 1620 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 324 | THAYER FAMILY TRUST |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|---|
| *1 | 1625 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 325 BILLINGS, MARILYN |
| *1 | 1630 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 326 NOVOTNY JAMES F & MARILYN S |
| *1 | 1635 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 327 BAKER, ELIZABETH E |
| *1 | 1640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 328 LITWILLER, LONNIE S & JOANNE F |
| *1 | 1645 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 329 MERCER, GERTRUDE & HEWARD, JOSEPH |
| *1 | 1650 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 330 SULLIVAN, MICHAEL P & CHRISTINE E |
| *1 | 1660 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 332 HOFFER, LAUREN S & ERIC J |
| *1 | 1665 | 0 | 654.87 | 0.00 | 0.00 | -3.28 | 0.00 | 651.59 | 333 MILLER, PAUL J & JESSICA D |
| *1 | 1670 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 334 J & K TULLY REALTY TRUST |
| *1 | 1675 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 335 SEAWOOD TRUST |
| *1 | 1680 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 336 STAVROS, DINO G & MARILYN |
| *1 | 1685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 337 KATSIMPAS, CHARLES & DIANE |
| *1 | 1690 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 338 THOMPSON, PAMELA |
| *1 | 1695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 339 ELIZABETH A MITCHELL REVOCABLE TRUST |
| *1 | 1697 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1697 MANDELL, JAMES A |
| *1 | 1700 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 340 LEFORT, MARIO & NASH, DEBORAH |
| *1 | 1700 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1448 JAMES D & NANCY W PAROLIN REVOCABLE TRUS |
| *1 | 1705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 341 AVILA, ROBERT & GREGORY, TALINA |
| *1 | 1720 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 344 ANUSZEWSKI, THOMAS J |
| *1 | 1725 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 345 SAVONA, JACK & ANNE |
| *1 | 1730 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 346 DIANNE J BOURQUE REVOCABLE TRUST |
| *1 | 1735 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 347 ROBERT E ANUSZEWSKI LIVING TRUST |

* = Override

Created Bills Report

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|-----------|------|------|----------|----------|-----------|---------|--|
| *1 | 1740 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 348 KATHY F ANUSZEWSKI LIVING TRUST |
| *1 | 1745 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 349 ROBERT E ANUSZEWSKI LIVING TRUST |
| *1 | 1750 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 350 RUBIN, PETER |
| *1 | 1755 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 351 MICHAEL & ROSANE HIRSCHY FAMILY TRUST |
| *1 | 1760 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 352 OSICH, JOSHUA M & JESSICA C |
| *1 | 1765 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 353 KEMPINSKI, HEIDI |
| *1 | 1780 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 356 THIBODEAU, MARGUERITE E |
| *1 | 1785 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 357 BEES KNEES KENNEBUNKPORT, LLC |
| *1 | 1790 | 0 | 654.87 | 0.00 | 0.00 | 674.46 | 41.72 | 1,371.05 | | 358 PRENDERGAST, MICHAEL D JR & KATHRYN L |
| *1 | 1795 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 359 GUAY, KATHRYN ANN |
| *1 | 1805 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 361 KPT MARINE, LLC |
| *1 | 1815 | 0 | 2,881.43 | 0.00 | 0.00 | 0.00 | 0.00 | 2,881.43 | | 363 ARUNDEL YACHT CLUB |
| *1 | 1820 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 364 EDITH HG MCCONNELL REVOCABLE TRUST |
| *1 | 1825 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 365 FANTON, ROMA F |
| *1 | 1830 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 366 NOWAK, LORI |
| *1 | 1835 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 367 NOWAK, LORI |
| *1 | 1840 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 368 MCFB, LLC |
| *1 | 1845 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 369 MULBERGER, VIRGINIA A |
| *1 | 1850 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 370 REDDEN, MICHAELA A & OLSHAN, ARTHUR |
| *1 | 1855 | 0 | 654.87 | 0.00 | 0.00 | -2.89 | 0.00 | 651.98 | | 371 PELLETIER, THOMAS J & CYNTHIA L |
| *1 | 1865 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 373 WOMEN & WINE, LLC |
| *1 | 1870 | 0 | 16,306.26 | 0.00 | 0.00 | 0.00 | 0.00 | 16,306.26 | | 374 WILLIAMSON, ROBERT S |
| *1 | 1875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 375 ENOCH, MATTHEW S & DONNA C |
| *1 | 1880 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 376 HALL, JONATHAN S |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 1885 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 377 ROMINE, DONALD J & RHODA M |
| *1 | 1895 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 379 SWEENEY, JOHN & ANN-MARIE |
| *1 | 1900 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 380 2538970 ONTARIO, INC |
| *1 | 1905 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 381 BYERLY, WILLIAM F & MARY C |
| *1 | 1910 | 0 | 6,548.70 | 0.00 | 0.00 | 0.00 | 0.00 | 6,548.70 | | 382 KENNEBUNKPORT CAPTAINS COLLECTION, LLC |
| *1 | 1915 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 383 BALCOM, WILLIAM BRIAN |
| *1 | 1920 | 0 | 6,876.14 | 0.00 | 0.00 | 0.00 | 0.00 | 6,876.14 | | 384 KENNEBUNKPORT CAPTAINS COLLECTION, LLC |
| *1 | 1925 | 0 | 2,619.48 | 0.00 | 0.00 | 0.00 | 0.00 | 2,619.48 | | 385 KCC-CGH HOLDINGS, LLC |
| *1 | 1930 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 386 DRAGHETTI, MATTHEW J & MICHELLE L |
| *1 | 1935 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 387 WIDMER, MATTHEW A & AMY M |
| *1 | 1945 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 389 MIDDLETON, MARJORIE D & JOHN L JR |
| *1 | 1955 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 391 MALTE LUKAS REVOCABLE TRUST |
| *1 | 1960 | 0 | 3,274.35 | 0.00 | 0.00 | 0.00 | 0.00 | 3,274.35 | | 392 MATTUCHIO FAMILY IRREVOCABLE TRUST |
| *1 | 1965 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 393 MORELLI, MICHAEL J & KERRY H |
| *1 | 1970 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 394 LEA RAE LEVINES REVOCABLE TRUST |
| *1 | 1975 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 395 CAPPS, NOBLE F & NANCY H |
| *1 | 1980 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 396 MARINO, ELAINE |
| *1 | 1990 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 398 HUNTER, JAMES & JOAN F |
| *1 | 1995 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 399 RYBCZYK, STEPHEN M & CAROLE A |
| *1 | 2000 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 400 KASYAN, ANN M & ALPEYRIE, JEAN-LOUIS |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 2005 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 401 JANE E FIRTH TRUST |
| *1 | 2010 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 402 HWTM INVESTMENTS LIMITED PARTNERSHIP |
| *1 | 2015 | 0 | 654.87 | 0.00 | 0.00 | -29.00 | 0.00 | 625.87 | | 403 ANDONIAN, DAVID & KRIS A |
| *1 | 2020 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 404 E THOMAS RUTHERFORD TRUST |
| *1 | 2025 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 405 CALDERA, RICHARD & MARGARET |
| *1 | 2030 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 406 GRAHAM, MARY ANN |
| *1 | 2035 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 407 GROMAN, ELIZABETH L |
| *1 | 2040 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 408 RANDALL, KAREN |
| *1 | 2045 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 409 DROMGOOLE, JOHN & CAROL ANN |
| *1 | 2050 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 410 DENOIA, MARC |
| *1 | 2055 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 411 MARGUERITE J WATERS REVOCABLE TRUST |
| *1 | 2060 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 412 KENNEDY, ILONA & LESLIE |
| *1 | 2065 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 413 HAGER, CHRISTIE L & STARK, ROYAL J |
| *1 | 2070 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 414 AUSTIN, JACK N & HOYT, KATHERINE L |
| *1 | 2075 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 415 MARTHA NIKITAS STONE REV TRUST |
| *1 | 2080 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 416 MCGINN, HOWARD D & JAYNE A |
| *1 | 2085 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 417 CROW, KAREN W |
| *1 | 2090 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 418 KUDAS, JACEK & SHARRY |
| *1 | 2095 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 419 YANKOWSKI, GEORGE E JR & JANICE G |
| *1 | 2100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 420 CARNEY, DONALD A |
| *1 | 2105 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 421 MAHONEY FAMILY REVOCABLE TRUST |
| *1 | 2110 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 422 STOHLMAN, SUZANNE |
| *1 | 2115 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 423 MARQUIS, ALFRED C JR & JULIE A |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|--|
| *1 | 2120 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 424 DORAN, WILLIAM M & SUSAN L |
| *1 | 2135 | 0 | 6,876.14 | 0.00 | 0.00 | 0.00 | 0.00 | 6,876.14 | 427 KENNEBUNKPORT CAPTAINS COLLECTION, LLC |
| *1 | 2140 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 428 CUP AND SAUCER, LLC |
| *1 | 2145 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 429 40 MAINE STREET, LLC |
| *1 | 2150 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 430 KIVLEHAN REVOCABLE TRUST |
| *1 | 2155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 431 LINDA BROOKS REVOCABLE TRUST |
| *1 | 2160 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 432 PAPPAGEORGE, PATRICIA |
| *1 | 2165 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 433 PRICE, EUGENE THOMAS & KRISTEN E |
| *1 | 2170 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 434 FLYNN, SEAN M & AMY S |
| *1 | 2175 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 435 MIKLOS MARK A & JENNIFER L |
| *1 | 2180 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 436 GREEN, FRANK T |
| *1 | 2185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 437 TYLER, TROY |
| *1 | 2195 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 439 3 KENPORT, LLC |
| *1 | 2200 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | 440 SIMONETTI, ALEXIS A |
| *1 | 2205 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 441 STRAUB, CHARLES W JR & CAROL J |
| *1 | 2210 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | 442 MEEHAN MAINE REALTY TRUST |
| *1 | 2215 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 443 REVOCABLE TRUST OF ALICE L ROSE |
| *1 | 2220 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 444 DRANOW, STEVEN & JAMIE |
| *1 | 2225 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 445 ADAMS, DAVID R & ELLEN L |
| *1 | 2230 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 446 HANDLEN, FRANK W & CUMMINS, SHARON L |
| *1 | 2235 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 447 THOMPSON, HARRY A III & JILL M |
| *1 | 2240 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 448 RINALDI, JOHN F & POWELL, BRIAN |
| *1 | 2245 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 449 SHAHIAN, DOUGLAS & LISA |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|-----------|------|------|----------|----------|-----------|---------|--------------------------------------|
| *1 | 2255 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 451 DAVID C KRIEG LIVING TRUST |
| *1 | 2260 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 452 2538970 ONTARIO, INC |
| *1 | 2265 | 0 | 21,938.14 | 0.00 | 0.00 | 0.00 | 0.00 | 21,938.14 | | 453 BOATHOUSE AT KENNEBUNKPORT, LLC |
| *1 | 2270 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 454 SAND DOLLAR HOLDINGS, LLC |
| *1 | 2275 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 455 RED BUILDING TRUST |
| *1 | 2280 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 456 B & C PROPERTIES, LLC |
| *1 | 2285 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 457 JENKINS, DAVID W & DIANE |
| *1 | 2290 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 458 JENKINS, DAVID W & DIANE |
| *1 | 2295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 459 JENKINS, DAVID W & DIANE |
| *1 | 2300 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 460 JENKINS, DAVID W & DIANE |
| *1 | 2305 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 461 BROWNROCK MAINE, LLC |
| *1 | 2310 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 462 BROWNROCK MAINE, LLC |
| *1 | 2315 | 0 | 1,637.18 | 0.00 | 0.00 | 0.00 | 0.00 | 1,637.18 | | 463 TYNIK, JOSEPH J & SANDRA L |
| *1 | 2340 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 468 NATHAN A SHMALO REALTY, LLC |
| *1 | 2345 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 469 THRONE STOE CORPORATION |
| *1 | 2350 | 0 | 13,097.40 | 0.00 | 0.00 | 0.00 | 0.00 | 13,097.40 | | 470 JEROME PROPERTIES 29, LLC |
| *1 | 2355 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 471 JOHN F RINALDI, LLC |
| *1 | 2360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 472 ACORN PROPERTIES REALTY TRUST |
| *1 | 2365 | 0 | 11,198.28 | 0.00 | 0.00 | 0.00 | 0.00 | 11,198.28 | | 473 WILD HORSE TAVERN, LLC |
| *1 | 2370 | 0 | 2,619.48 | 0.00 | 0.00 | 0.00 | 0.00 | 2,619.48 | | 474 CHARLOTTE SHIBLE REVOCABLE TRUST |
| *1 | 2375 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 475 YORKE MAX, LLC |
| *1 | 2380 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 476 FLORENTINE CORPORATION |
| *1 | 2385 | 0 | 21,741.68 | 0.00 | 0.00 | -0.05 | 0.00 | 21,741.63 | | 477 ATLANTIC COAST HOSPITALITY, LLC |
| *1 | 2390 | 0 | 1,866.38 | 0.00 | 0.00 | 0.00 | 0.00 | 1,866.38 | | 478 SOUTH CONGREGATIONAL CHURCH |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 2395 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 479 MARCIA J LUKAS REVOCABLE TRUST |
| *1 | 2400 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 480 EDDLESTON, GRAHAM & LAURA |
| *1 | 2405 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 481 NASH, LINDA S |
| *1 | 2410 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 482 ANDERSON, MARYDILYS S & NELSON, JAMES C |
| *1 | 2415 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 483 WARREN, PETER & GRETCHEN |
| *1 | 2420 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 484 SARA E SINCLAIR REVOCABLE TRUST |
| *1 | 2425 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 485 CHEW, WILLIAM B & MARGARET D |
| *1 | 2430 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 486 BLUE WATER HOMES, LLC |
| *1 | 2435 | 0 | 1,833.64 | 0.00 | 0.00 | 0.00 | 0.00 | 1,833.64 | | 487 SOUTH CONGREGATIONAL CHURCH |
| *1 | 2440 | 0 | 5,238.96 | 0.00 | 0.00 | -327.75 | 0.00 | 4,911.21 | | 488 SOUTH CHURCH HOUSING CORP |
| *1 | 2445 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 489 ARUNDEL LODGE BUILDING ASSOCIATION |
| *1 | 2450 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 490 GARDINIER, NANCY J |
| *1 | 2455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 491 JSK GROUP, LLC |
| *1 | 2460 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 492 GROOB, JAY & BEYERSDOERFER, BRENDA |
| *1 | 2465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 493 BAPTIST CHURCH |
| *1 | 2470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 494 KENNEBUNKPORT HISTORICAL SOCIETY |
| *1 | 2475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 495 IAFOLLA, MICHAEL F JR & DENISE G |
| *1 | 2480 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 496 ROLLERI, ANDREA & VAN SICKLE, DENNIS E |
| *1 | 2485 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 497 LRZ TRUST |
| *1 | 2490 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 498 CHRISTOPHER DIEBENKORN LIVING TRUST |
| *1 | 2500 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 500 TROIANO, JEFFREY S & ABBY D |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 2505 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 501 CHAPPELL, CHRISTOPHER & MARTHA |
| *1 | 2520 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 504 LOUIS T GRAVES MEMORIAL PUBLIC LIBRARY |
| *1 | 2525 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 505 JANET & MICHAEL BURD TRUST |
| *1 | 2530 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 506 KEATING, SALLY R |
| *1 | 2535 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 507 CLIFTON & MARLENE RAUM REVOCABLE TRUST |
| *1 | 2540 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 508 FUNICELLO-PAUL, ALEXANDER & LINDSAY |
| *1 | 2545 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | | 509 CAMPBELL, BRETT |
| *1 | 2550 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 510 BONENFANT FAMILY TRUST |
| *1 | 2555 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 511 GREEN, SANDRA ANN & LIBBY, ROBERT TRSTEE |
| *1 | 2560 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 512 BEVERLY MESERVE TRUST |
| *1 | 2565 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 513 LORA MCGRATH REVOCABLE TRUST |
| *1 | 2570 | 0 | 654.87 | 0.00 | 0.00 | -4.67 | 0.00 | 650.20 | | 514 NAMIOTKA, MICHAEL J & KAREN |
| *1 | 2575 | 0 | 654.87 | 0.00 | 0.00 | -74.26 | 0.00 | 580.61 | | 515 CLARK, MARIKA A |
| *1 | 2580 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 516 TIDEWATER COTTAGE, LLC |
| *1 | 2585 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 517 KENNEDY, CHARLES & SUHRHOFF, KAREN |
| *1 | 2590 | 0 | 654.87 | 0.00 | 0.00 | 2,807.92 | 271.93 | 3,734.72 | | 518 STRACK, BRIAN |
| *1 | 2595 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 519 PARISEN, MARGARET A & RICHARD |
| *1 | 2600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 520 ELDRIDGE, JOHN S, III |
| *1 | 2605 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 521 LAPRIORE REALTY TRUST |
| *1 | 2610 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 522 HARDING, HARRIET M |
| *1 | 2615 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 523 CLARK, ERIC A & MARIA BEAUDOIN |
| *1 | 2625 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 525 BLCL 2 HIGH STREET, LLC |
| *1 | 2630 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 526 HAAS, JENNIFER LEE |
| *1 | 2635 | 0 | 654.87 | 0.00 | 0.00 | -530.00 | 0.00 | 124.87 | | 527 KERN, BARBARA H |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 2640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 528 | DAPHNE BARRON REVOCABLE TRUST |
| *1 | 2645 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 529 | BAKER, RYAN F |
| *1 | 2650 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 530 | FORRESTAL, KATHLEEN & LITOWITZ, DOUGLAS |
| *1 | 2655 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 531 | LOYNS, LYNN A & GIA L |
| *1 | 2660 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 532 | SPITA, JOHN E |
| *1 | 2665 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 533 | MCCARTHY, GEOFFREY D & STACEY A |
| *1 | 2670 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 534 | BURROWS, JAMES E & VIRGINIA E |
| *1 | 2675 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 535 | BEAUDION, WILLIAM J & JENNIFER M |
| *1 | 2680 | 0 | 654.87 | 0.00 | 0.00 | -3.75 | 0.00 | 651.12 | 536 | MCCARTHY, STEPHEN E & CHERI M |
| *1 | 2685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 537 | MARTIN, GARY E & TAMMY M |
| *1 | 2690 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 538 | STEPHENS, BENJAMIN F III |
| *1 | 2695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 539 | MARTIN, SUSAN L |
| *1 | 2700 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 540 | MILES, DANIEL F & ANDREA |
| *1 | 2705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 541 | LILLIAN M BARTLETT REVOCABLE TRUST |
| *1 | 2710 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 542 | GERE, NICHOLAS D & TRACI L |
| *1 | 2715 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 543 | CAROLYN S MEHLHORN REVOCABLE TRUST |
| *1 | 2720 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 544 | GAROTTA, CHRISTIAN |
| *1 | 2725 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 545 | GURSKI, KIMBERLY A & JOHN E |
| *1 | 2735 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 547 | DONESKI, DAVID J & SANDRA D |
| *1 | 2745 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 549 | SPICEWOOD MAINE, LLC |
| *1 | 2750 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 550 | EISING, PETER A & SUSANNE |
| *1 | 2755 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 551 | MAINE PEARL LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount Account | Name |
|------|------|------|----------|------|------|----------|----------|----------------|---|
| *1 | 2760 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 552 KARAKHANIAN, ALEXANDER & RENA |
| *1 | 2765 | 0 | 654.87 | 0.00 | 0.00 | 1,254.56 | 80.04 | 1,989.47 | 553 DELANCEY-KAY REVOCABLE TRUST |
| *1 | 2770 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 554 CONDON, ROBERT & ELLICE |
| *1 | 2775 | 0 | 2,619.48 | 0.00 | 0.00 | 0.00 | 0.00 | 2,619.48 | 555 KUBIAK, FAITH & KATHERINE |
| *1 | 2780 | 0 | 982.30 | 0.00 | 0.00 | 0.00 | 0.00 | 982.30 | 556 M&T BANK |
| *1 | 2785 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 557 1 ELM STREET, LLC |
| *1 | 2790 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 558 PAINE, W ROBERT & EVELYN |
| *1 | 2795 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 559 BLACK FAMILY REVOCABLE TRUST |
| *1 | 2800 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 560 MATTHEW C ALLARD REVOCABLE TRUST |
| *1 | 2805 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 561 STEPHEN C PAGE REVOCABLE TRUST |
| *1 | 2810 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 562 PAUL L MAHONEY REVOCABLE TRUST |
| *1 | 2815 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 563 DOWNS, EVA M |
| *1 | 2820 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 564 DULEY, BRIGITTE I |
| *1 | 2825 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 565 OCEAN AVENUE REALTY TRUST |
| *1 | 2835 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 567 WHETSELL, M HEYWARD JR & SHERRILL A |
| *1 | 2840 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 568 BELYEA, JOHN A |
| *1 | 2845 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 569 MCWILLIAMS FAMILY TRUST |
| *1 | 2850 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 570 HECKLER, JOHN H & CAROL A |
| *1 | 2855 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 571 NATOLI, JOAN E & RICHARD |
| *1 | 2860 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 572 SCOTT, ANDREW & GRAHAM, KELLY |
| *1 | 2865 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 573 HENRY, JOHN G & AOIFE C |
| *1 | 2875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 575 PAGANO, ROBERT & DIANE |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|--|
| *1 | 2880 | 0 | 4,584.09 | 0.00 | 0.00 | 0.00 | 0.00 | 4,584.09 | 576 JJPT REALTY PARTNERS, LLC |
| *1 | 2885 | 0 | 3,929.22 | 0.00 | 0.00 | 0.00 | 0.00 | 3,929.22 | 577 SHMALO FAMILY, LLC |
| *1 | 2890 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 578 PERKINS, CARLA L |
| *1 | 2895 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 579 KNOWLES, ROBERT W |
| *1 | 2900 | 0 | 2,292.04 | 0.00 | 0.00 | 0.00 | 0.00 | 2,292.04 | 580 KILBURN HOUSE, LLC |
| *1 | 2905 | 0 | 1,309.74 | 0.00 | 0.00 | 1,139.74 | 40.13 | 2,489.61 | 581 GOODWIN, KAREN A |
| *1 | 2910 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 582 CAREY, MEGHAN & HUEBINGER, BRAD |
| *1 | 2915 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 583 VASQUEZ, NICHOLAS & KERCADO, MELISSA |
| *1 | 2920 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 584 SMITH, PHILIP G |
| *1 | 2925 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 585 FREDERICK G WAHTERA REVOC TRUST |
| *1 | 2930 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 586 MAUSHART, BRADFORD S & DONNA M |
| *1 | 2935 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 587 NORTHERN NE TELEPHONE OPERATION, LLC |
| *1 | 2940 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 588 ZELLWEGER, SUSAN G |
| *1 | 2945 | 0 | 9,823.05 | 0.00 | 0.00 | 0.00 | 0.00 | 9,823.05 | 589 RAYMOND SHMALO REVOC LIVING TRUST |
| *1 | 2950 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 590 MOUNTAIN TOPS INC |
| *1 | 2955 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 591 JENKINS, DAVID W & DIANE |
| *1 | 2960 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 592 14 SPRING STREET TRUST |
| *1 | 2965 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 593 SHOTWELL, JENNIFER M |
| *1 | 2970 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 594 SHOTWELL, JENNIFER M |
| *1 | 2975 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 595 HILL, LAURENCE R |
| *1 | 2980 | 0 | 1,637.18 | 0.00 | 0.00 | 4,144.66 | 375.89 | 6,157.73 | 596 UNITED STATES GOVERNMENT |
| *1 | 2985 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 597 BALAS, JANET & JOHN M |
| *1 | 2990 | 0 | 1,309.74 | 0.00 | 0.00 | -10.00 | 0.00 | 1,299.74 | 598 GREID MANOR, LLC & IBCREID, LLC |
| *1 | 2995 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 599 APPLE GROVE PROPERTIES, LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|-----------|------|------|----------|----------|-----------|---------|--|
| *1 | 3000 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 600 CAMPBELL, ROBERT S & KATHLEEN F |
| *1 | 3005 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 601 DELDUKO, DAVID & LAMONTAGNE, LAURE |
| *1 | 3010 | 0 | 3,274.35 | 0.00 | 0.00 | 0.00 | 0.00 | 3,274.35 | | 602 SHINE HOLDING, LLC |
| *1 | 3020 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 604 WORDSMITH, EMMA P |
| *1 | 3025 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 605 TIMOTHY J O'NEILL REVOCABLE TRUST |
| *1 | 3030 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 606 FIELD POINT, LLC |
| *1 | 3035 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 607 SANBORN REALTY TRUST |
| *1 | 3040 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 608 CALDWELL, MALCOM G |
| *1 | 3045 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 609 WILLIAM AND DEBORAH BABINEAU TRUST |
| *1 | 3050 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 610 HAROLD COWLES TRUST |
| *1 | 3055 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 611 GRONBERG, KATHERINE & KEVIN |
| *1 | 3060 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 612 SMALL-WILLIAMSON PROPERTIES, LLC |
| *1 | 3065 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 613 SMALL-WILLIAMSON PROPERTIES, LLC |
| *1 | 3070 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 614 SCHMIDT, BRUCE W & JILL K |
| *1 | 3090 | 0 | 654.87 | 0.00 | 0.00 | -569.87 | 0.00 | 85.00 | | 618 YANAGI, MELISSA |
| *1 | 3100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 620 SPALDING, DINORAH |
| *1 | 3105 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 621 SHEPPARD, LESLIE ANN |
| *1 | 3110 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 622 MCKAY, SALLY M |
| *1 | 3120 | 0 | 24,230.19 | 0.00 | 0.00 | 0.00 | 0.00 | 24,230.19 | | 624 RHUMB LINE MOTOR LODGE INN |
| *1 | 3125 | 0 | 654.87 | 0.00 | 0.00 | 22.98 | 0.11 | 677.96 | | 625 SCHWEMM, HEATHER |
| *1 | 3130 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 626 WARD, LINDA E & PRICE, STEVEN R |
| *1 | 3135 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 627 ELMORE, CHARLOTTE & O'QUINN, LISA |
| *1 | 3140 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 628 KOESTER, DAVID M & GRANT, MARYJANE |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|---|
| *1 | 3155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 631 DOTY ELIZABETH A |
| *1 | 3160 | 0 | 9,495.62 | 0.00 | 0.00 | 0.00 | 0.00 | 9,495.62 | 632 KUDAS HOTEL COMPANY, LLC |
| *1 | 3165 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 633 WILDES, S PATRICIA |
| *1 | 3170 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 634 SAVAGE, LYNNSEY |
| *1 | 3175 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 635 SPOTTISWOODE, JOHN P |
| *1 | 3180 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 636 55 WILDES DISTRICT ROAD, LLC |
| *1 | 3185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 637 CLARK, JEANNE Y |
| *1 | 3190 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 638 KING, KAREN A |
| *1 | 3195 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 639 DRIGOTAS, ETHAN & LAUREN |
| *1 | 3210 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 642 COSTA, ALLEGRA |
| *1 | 3215 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 643 SAHIN, KENT E |
| *1 | 3220 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 644 COX, KAY H |
| *1 | 3225 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 645 PATRICIA A GALLAGHER REVOCABLE TRUST |
| *1 | 3235 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 647 GANGER, NANCY L & WARD L |
| *1 | 3240 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 648 COOPERMAN, MICHAEL S & ARCHER, ANNE |
| *1 | 3245 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 649 BRIAN M ROSSI REVOCABLE TRUST |
| *1 | 3250 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 650 MEIER FAMILY TRUST |
| *1 | 3255 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 651 JAMES H KIRSCH REVOCABLE TRUST OF 1997 |
| *1 | 3260 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 652 GLAUZ-TODRANK, STEPHEN K |
| *1 | 3265 | 0 | 654.87 | 0.00 | 0.00 | -0.13 | 0.00 | 654.74 | 653 MCLEAN, GLADYS H |
| *1 | 3270 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 654 LANG, ROBERT E |
| *1 | 3275 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 655 DAVIS, JEFFREY S & PAMELA A |
| *1 | 3280 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 656 HENNESSEY LIVING TRUST |
| *1 | 3285 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 657 BROOKS, LORRAINE E |
| *1 | 3290 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 658 WILSON, KINDER H L |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|--|
| *1 | 3295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 659 NOYES, MONICA B L |
| *1 | 3300 | 0 | 1,309.74 | 0.00 | 0.00 | -1.30 | 0.00 | 1,308.44 | 660 HARRINGTON, TIMOTHY |
| *1 | 3305 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 661 ECKE, RICHARD A |
| *1 | 3315 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 663 MILLETTE, LEO A & SULLIVAN, JOANNE M |
| *1 | 3320 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 664 RUGGLES TURBATS CREEK LAND TRUST |
| *1 | 3350 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 670 SIFUENTES, DEBBIE & ROBERTO |
| *1 | 3355 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 671 O'DONNELL, THOMAS M |
| *1 | 3360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 672 JONES, ROBERT & DEBORAH |
| *1 | 3365 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 673 BERNDTSON, CARL R & ANNE T |
| *1 | 3370 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 674 FRASER, DOROTHY S |
| *1 | 3380 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 676 CALVEY, THOMAS F & MARY ELLEN |
| *1 | 3400 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 680 GRAUMANN LINDSAY FAMILY TRUST |
| *1 | 3405 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 681 BETE, MICHAEL G |
| *1 | 3410 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 682 PAMELA E PHINNEY 2017 TRUST |
| *1 | 3415 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 683 ELLIS, NATHAN M REVOCABLE TRUST |
| *1 | 3420 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 684 HOLLORAN, EDWARD P |
| *1 | 3430 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 686 MORAN, JOHN T & BEDELIA A |
| *1 | 3435 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 687 RICHARDSON, JUDITH |
| *1 | 3440 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 688 LYONS, KATHLEEN A & FONTAINE, LISA M |
| *1 | 3445 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 689 PIZZO, THOMAS D & JULIE M |
| *1 | 3450 | 0 | 654.87 | 0.00 | 0.00 | -0.13 | 0.00 | 654.74 | 690 WILDES, GREGORY G & MEAGAN B |
| *1 | 3455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 691 FENN, SETH & LANGSHAW- SIMON, REBECCA |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 3460 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 692 NUNAN, RICHARD C & TERRI L |
| *1 | 3465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 693 PUTNAM, JOSEPHINE F & ARNOLD |
| *1 | 3470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 694 PUTNAM, JOSEPHINE F |
| *1 | 3475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 695 ALTER, BRUCE S & LEVINE, AMY |
| *1 | 3480 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 696 TENNEY, LAUREN S |
| *1 | 3485 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 697 TENNEY, DAVID B JR |
| *1 | 3490 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 698 LAFLAMME, MARC |
| *1 | 3500 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 700 LEACH, LINDA P & RAYMOND D |
| *1 | 3505 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 701 SEVERNS, HANNAH W & GALLANT, NICHOLAS D |
| *1 | 3510 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 702 BRIDGES, SALLY J & ELLSWORTH L JR |
| *1 | 3515 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 703 BRIDGES, SALLY J & ELLSWORTH L JR |
| *1 | 3520 | 0 | 3,274.35 | 0.00 | 0.00 | -1.60 | 0.00 | 3,272.75 | | 704 MATTHEWS REALTY TRUST |
| *1 | 3530 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 706 LAMB, STEPHEN A & SUSAN E |
| *1 | 3535 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 707 HAYES, NANCY L & ELLEN S |
| *1 | 3540 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 708 RALPH E YOUNG REVOCABLE TRUST |
| *1 | 3545 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 709 ST. JOHN, THANIA |
| *1 | 3550 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 710 MCCABE, SHARON R |
| *1 | 3555 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 711 HOLLERAN, SUSAN C |
| *1 | 3570 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 714 MATTHEWS, SHEILA |
| *1 | 3580 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 716 LUDWIG FAMILY REVOCABLE TRUST |
| *1 | 3585 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 717 BEARD, DANIEL B & SARAH B |
| *1 | 3590 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 718 CAPE PORPOISE VILLAGE NOMINEE TRUST |
| *1 | 3595 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 719 BROWN, CAROLYN C |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|-----------|------|------|----------|----------|-----------|---------|--|
| *1 | 3600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 720 CARPENTER REALTY TRUST |
| *1 | 3605 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 721 WYMAN, PRISCILLA C & ROSS |
| *1 | 3610 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 722 NIEUWKERK, WILLEM & DEBORAH |
| *1 | 3620 | 0 | 10,805.36 | 0.00 | 0.00 | 0.00 | 0.00 | 10,805.36 | | 362 YACHTSMAN HOSPITALITY, LLC |
| *1 | 3630 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 726 PETRASCH, OLIVIA R |
| *1 | 3635 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 727 TIERNEY, SAMANTHA B & STAUSS, TIMOTHY E |
| *1 | 3640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 728 ST. ONGE, THOMAS V & SAMIL |
| *1 | 3645 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 729 VIEHMANN, DANIEL C |
| *1 | 3650 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 730 HUTCHINS, KENNETH N |
| *1 | 3655 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 731 MAHONEY, ANN-MARIE |
| *1 | 3665 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 733 CASE, EMILY & BENTSON, BRETT |
| *1 | 3670 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 734 LOW, DARLENE, ESTATE OF |
| *1 | 3680 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 736 HUTCHINS, HERBERT H & CLARA MAY |
| *1 | 3685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 737 SPALDING, DINORAH |
| *1 | 3690 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 738 PREVET, JAMES & PATRICIA |
| *1 | 3695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 739 GRECO, CAROL ANNE & DOUGLAS ALAN |
| *1 | 3700 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 740 JOHNS, KEVIN P & REBECCA A |
| *1 | 3705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 741 MCLAUGHLIN, O'REGAN |
| *1 | 3710 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 742 LISA M CROWLEY REVOCABLE TRUST |
| *1 | 3715 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 743 COSTELLO, NICHOLAS J & SAMANTHA A |
| *1 | 3720 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 744 EMMONS, KYLE L |
| *1 | 3725 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 745 GALLAGHER, DAVID W |
| *1 | 3730 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 746 NUNAN, NORMAN H & SHIRLEY C |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|---------|------|------|----------|----------|----------|---------|----------------------------------|
| *1 | 3735 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 747 | SHAROOD-DICKINSON, EMILY H |
| *1 | 3740 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 748 | REDMOND, JOHN J & STEPHANIE T |
| *1 | 3745 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 749 | HAMMEL, CLIFFORD P & BETSY |
| *1 | 3750 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 750 | MCLEAN, GLADYS H |
| *1 | 3755 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 751 | MCLEAN, GLADYS H & HARRISON G |
| *1 | 3760 | 0 | 654.87 | 0.00 | 0.00 | 1,808.52 | 150.43 | 2,613.82 | 752 | RAYMOND, BRYAN |
| *1 | 3765 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 753 | POWELL LIVING TRUST |
| *1 | 3770 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 754 | DAMADU USA LTD |
| *1 | 3775 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 755 | ANTONIAK, SCOTT |
| *1 | 3780 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 756 | CAYFORD, GREGORY R & SUSANNE M |
| *1 | 3790 | 0 | 654.87 | 0.00 | 0.00 | 674.10 | 41.69 | 1,370.66 | 758 | JANELLE, NORMA JEAN |
| *1 | 3795 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 759 | HOLTZ, HERBERT L |
| *1 | 3805 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 761 | DONNA B THOMPSON REVOC TRUST |
| *1 | 3810 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 762 | GIFFORD FAMILY REVOCABLE TRUST |
| *1 | 3820 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 764 | ANISIA R GIFFORD TRUST |
| *1 | 3825 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 765 | HOVIVIAN, TOROS F & MARIANNE C |
| *1 | 3830 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 766 | GLENN C OAKLEY TRUST |
| *1 | 3835 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 767 | GLENN C OAKLEY TRUST |
| *1 | 3840 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 768 | 7 CROSS STREET REALTY TRUST |
| *1 | 3855 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 771 | WILKINS FAMILY TRUST |
| *1 | 3860 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 772 | BREAREY FAMILY REVOCABLE TRUST |
| *1 | 3865 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 773 | MARYANNE K SORGE REVOCABLE TRUST |
| *1 | 3870 | 0 | 654.87 | 0.00 | 0.00 | -0.36 | 0.00 | 654.51 | 774 | BEATRICE D BOUDETTE TRUST |

Created Bills Report

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 3875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 775 LEIGHTON, ANNE T & JULIA L |
| *1 | 3880 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 776 SIEMON, PAMELA D & JOHN A |
| *1 | 3885 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 777 JW COVERT PROPERTIES 1, LLC |
| *1 | 3890 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 778 SPENARD, MICHAEL R & GLASER, BRIAN S |
| *1 | 3895 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 779 BRUCE & KATHI JORDAN REVOC TRUST |
| *1 | 3900 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 780 COTTER LIVING TRUST |
| *1 | 3905 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 781 BARATTA, CHRISTINE A |
| *1 | 3910 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 782 DOROTHY SOLA LIVING TRUST |
| *1 | 3920 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 784 BARBARA F. FINDEISEN REVOC. TRUST |
| *1 | 3925 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 785 UNCLE GF BABA FAMILY IRREVOCABLE TRUST |
| *1 | 3930 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 786 DEVANEY, KATHLEEN & LANCTO, CHRISTOPHER |
| *1 | 3935 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 787 ELEONORE P SANDERSON REVOCABLE TRUST |
| *1 | 3940 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 788 80 TURBATS CREEK TRUST |
| *1 | 3960 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 792 GIGGEY, PAUL |
| *1 | 3965 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 793 JACKSON, VALERIE P & TURRISI, MICHAEL J |
| *1 | 3970 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 794 SEAVEY, H STEDMAN & ELIZABETH P |
| *1 | 3975 | 0 | 654.87 | 0.00 | 0.00 | -0.10 | 0.00 | 654.77 | | 795 BOWSPRIT SUBDIVISION HOMEOWNERS ASSOCIAT |
| *1 | 3980 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 796 PHILLIPS, LELAND A |
| *1 | 3985 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 797 WYMAN, PRISCILLA C & ROSS |
| *1 | 3990 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 798 RUSK, SCOTT F & LINDSEY, ANN E |
| *1 | 3995 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 799 CIARDELLO, JOANNE R |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 4000 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 800 HENKE, LUCY L |
| *1 | 4005 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 801 RENSEL, JOHN R & WIGLE, CHRISTOPHER C |
| *1 | 4010 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 802 CHASE, JULIE |
| *1 | 4015 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 803 F HAROLD KUSHNER MD LIVING TRUST |
| *1 | 4020 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 804 ROBERT R FORSBERG REVOC TRUST |
| *1 | 4025 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 805 JUDGE, JANET & HERMAN, KERRY |
| *1 | 4030 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 806 BRUCE BACKMAN LIVING TRUST |
| *1 | 4035 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 807 BRIAN & PRUDENCE MINNIHAN LIVING TRUST |
| *1 | 4040 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 808 NUNAN, ELEANOR |
| *1 | 4045 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 809 SPENCER, NANCY C & RICHARD H, JR |
| *1 | 4055 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 811 HUFF FAMILY IRREVOCABLE RE TRUST |
| *1 | 4060 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 812 KASPRZAK, STEPHEN M & PAULA J |
| *1 | 4065 | 0 | 654.87 | 0.00 | 0.00 | -76.48 | 0.00 | 578.39 | | 813 PATTERSON, FRANK M & LESLIE F |
| *1 | 4080 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 816 KADING, KELLY B JR & AMY R |
| *1 | 4085 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 817 HANA PEVNY LIVING TRUST |
| *1 | 4090 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 818 WARREN C WALLIS LIVING TRUST |
| *1 | 4095 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 819 ORY, ANDREW DAVID & HAMMETT, LINDA GAIL |
| *1 | 4100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 820 PARSONS, BRADFORD D |
| *1 | 4105 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 821 NIEUWKERK, WILLEM F & MARIA N |
| *1 | 4110 | 0 | 654.87 | 0.00 | 0.00 | -46.21 | 0.00 | 608.66 | | 822 PHIN'S LANDING |
| *1 | 4115 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 823 BENINCASA, JUSTIN D & GRACE M |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 4120 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 824 ORAHAM, STEVEN K & SAMSON, JAMES I |
| *1 | 4125 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 825 GALLANT FAMILY REVOCABLE TRUST |
| *1 | 4130 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 826 MULLIN, JEROME L |
| *1 | 4135 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 827 BONNEAU, PAUL V & SARAH P |
| *1 | 4140 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 828 JJWZ, LLC |
| *1 | 4145 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 829 JOHN C POLI REVOCABLE TRUST |
| *1 | 4150 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 830 MCGANNON, MARTHA E |
| *1 | 4155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 831 BLUEDORN, MAUREEN |
| *1 | 4160 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 832 CAYO, CAROL L |
| *1 | 4170 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 834 EATON, GARY |
| *1 | 4175 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 835 BUSHKOVITCH, PAUL A |
| *1 | 4180 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 836 15 LANGSFORD OWNER, LLC |
| *1 | 4185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 837 PORPOISE PLACE PROPERTIES, LLC |
| *1 | 4190 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 838 LINDA C SULLIVAN TRUST |
| *1 | 4195 | 0 | 949.56 | 0.00 | 0.00 | 0.00 | 0.00 | 949.56 | | 839 CHURCH ON THE CAPE |
| *1 | 4200 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 840 MCPHEETERS, PETER |
| *1 | 4205 | 0 | 1,637.18 | 0.00 | 0.00 | 0.00 | 0.00 | 1,637.18 | | 841 FAIELLA FOODS, LLC |
| *1 | 4210 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 842 WYMAN, JASON E & ELISE A |
| *1 | 4215 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 843 POLI, RITA |
| *1 | 4225 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 845 KELLY, RYAN & CARDUCCI, RACHEL |
| *1 | 4230 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 846 BURNETT, ANNE E |
| *1 | 4235 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 847 BELISLE, GERARD M & JANET |
| *1 | 4240 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 848 BLANK, DIANA D |
| *1 | 4245 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 849 GONNEVILLE, MAURICE G & PRISCILLA J |
| *1 | 4255 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 851 BORLAND, SETH B & LAURA N |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--------------------------------------|
| *1 | 4260 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 852 | MCCLELLAND, FLETCHER K & JULIE B |
| *1 | 4270 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 854 | CLINTON JOHN L & ROCHELLE A |
| *1 | 4275 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 855 | FAIRFIELD, AMY L |
| *1 | 4280 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 856 | ENGBORG, ALAN R |
| *1 | 4290 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 858 | HOLBROOK, DAVID H & JANICE |
| *1 | 4295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 859 | FRANK R BROWN CREDIT SHELTER TRUST |
| *1 | 4300 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 860 | SZUCH, RICHARD C & COLLEEN D |
| *1 | 4305 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 861 | HANIFY, MARISSA M & MICHAEL D |
| *1 | 4310 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 862 | SCANLON, JANE ETHERINGTON & JAMES |
| *1 | 4315 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 863 | DONOVAN FAMILY LIVING TRUST |
| *1 | 4320 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 864 | SCONTSAS FAMILY TRUST |
| *1 | 4325 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 865 | DMV INVESTMENT PROPERTIES, LLC |
| *1 | 4330 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 866 | ROMINE, DONALD J & RHODA M |
| *1 | 4335 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 867 | RENEE AKEL ROSEBROOK REVOCABLE TRUST |
| *1 | 4340 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 868 | KUKLIS, STEPHEN |
| *1 | 4345 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 869 | LYONS, BARBARA E |
| *1 | 4350 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 870 | MCKELVY, KEVIN W |
| *1 | 4355 | 0 | 7,989.41 | 0.00 | 0.00 | 0.00 | 0.00 | 7,989.41 | 871 | NUNAN, KEITH B & RICHARD C |
| *1 | 4360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 872 | WARD, JOSEPH L & LEIGH ANNE |
| *1 | 4365 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 873 | FIVE MILLS ROAD, LLC |
| *1 | 4370 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 874 | DWORKIN, GERALD M & DONNA J |
| *1 | 4375 | 0 | 1,571.69 | 0.00 | 0.00 | 0.00 | 0.00 | 1,571.69 | 875 | CRAVINGS, LLC |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|--|
| *1 | 4380 | 0 | 5,762.86 | 0.00 | 0.00 | 0.00 | 0.00 | 5,762.86 | 876 COVENTRY EAGLE, LLC |
| *1 | 4385 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 877 FITZGERALD, THOMAS & LISA |
| *1 | 4390 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 878 WORTHLEY, ROBERT A & EILEEN |
| *1 | 4395 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 879 MARCOCCIO, NICHOLAS D & KATHERINE A |
| *1 | 4405 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 881 TOWN, MICHAEL & DANA |
| *1 | 4410 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 882 ZILDJIAN, ARMEN M & SYBIL H |
| *1 | 4415 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 883 EMMONS, BETTY |
| *1 | 4425 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 885 MORIN, JOHN W |
| *1 | 4435 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 887 WALSH, JOHN T & MADELEINE R |
| *1 | 4440 | 0 | 654.87 | 0.00 | 0.00 | -0.87 | 0.00 | 654.00 | 888 BLANCO-REYES, MARILYN |
| *1 | 4445 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 889 FIORELLI, TRACEY E & MICHAEL K |
| *1 | 4450 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 890 WENZEL, NINA S ET AL |
| *1 | 4455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 891 FRANZ FAMILY KPT IRREVOCABLE TRUST |
| *1 | 4465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 893 SUDORA, TODD & MATERA, DAWN |
| *1 | 4470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 894 DYNIA, DIANE W |
| *1 | 4475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 895 COPPOLA, JOHN FRANK SR & JOHN FRANK JR |
| *1 | 4480 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 896 O'REILLY, ROBERT J & KOBI |
| *1 | 4490 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 898 ORKNEY FAMILY TRUST |
| *1 | 4495 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 899 CRONIN, MATTHEW & PERRY, ELIZA |
| *1 | 4500 | 0 | 4,256.66 | 0.00 | 0.00 | 0.00 | 0.00 | 4,256.66 | 900 JDMSK, INC |
| *1 | 4505 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 901 LIEBEL, JAMES D & MARYANN |
| *1 | 4510 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 902 ESSER, PAIGE |
| *1 | 4515 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 903 JJWZ, LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--------------------------------------|
| *1 | 4520 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 904 | BARRETT, JEFFREY P & BARRETT, LISA C |
| *1 | 4535 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 907 | SUDALTER FAMILY COMPANY, LLC |
| *1 | 4540 | 0 | 654.87 | 0.00 | 0.00 | -610.45 | 0.00 | 44.42 | 908 | KINGSTON, J STEVEN & JENIFER |
| *1 | 4560 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 912 | HARMON, DEREK & ALICIA |
| *1 | 4565 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 913 | GREKIN, GABY L |
| *1 | 4570 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 914 | BROOKS, DORIS V & THURSTON, LLOYD |
| *1 | 4575 | 0 | 3,274.35 | 0.00 | 0.00 | 0.00 | 0.00 | 3,274.35 | 915 | REEVES, ROBYN |
| *1 | 4580 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 916 | EMMONS, JOAN K |
| *1 | 4585 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 917 | ADAMS, JENNIFER & BILLY |
| *1 | 4600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 920 | NUNAN, KEITH B & KIMBERLY A |
| *1 | 4605 | 0 | 1,637.18 | 0.00 | 0.00 | -18.24 | 0.00 | 1,618.94 | 921 | VENTURE BAIT, LLC |
| *1 | 4610 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 922 | CERONE, JOHN M., JR |
| *1 | 4625 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 925 | AUSTIN, ROBERTA M |
| *1 | 4630 | 0 | 7,858.44 | 0.00 | 0.00 | 0.00 | 0.00 | 7,858.44 | 926 | PANAMA, LLC |
| *1 | 4635 | 0 | 654.87 | 0.00 | 0.00 | 1,268.75 | 62.69 | 1,986.31 | 927 | KELLETT, ALICIA N |
| *1 | 4640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 928 | WARD, DUANE E |
| *1 | 4655 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 931 | GRAHAM, DAVID J & DEBRA B |
| *1 | 4660 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 932 | GRAHAM, DAVID J & DEBRA B |
| *1 | 4665 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 933 | GANNON, STEPHEN D & BARBARA |
| *1 | 4670 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 934 | HANSON, GALE M |
| *1 | 4675 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 935 | GRACES LAND, LLC |
| *1 | 4680 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 936 | BYRNE, THOMAS J & HUESTIS, MARTHA G |
| *1 | 4685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 937 | JOURDAN, DAVID W & LYNN R |
| *1 | 4695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 939 | WRIGHT, PATRICIA L |
| *1 | 4700 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 940 | BRASSERT, WALTER L |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--------------------------------------|
| *1 | 4705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 941 | WEREMOWICZ, HOLLY & GREGORY |
| *1 | 4715 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 943 | GREEN MARINE CORPORATION |
| *1 | 4720 | 0 | 654.87 | 0.00 | 0.00 | -30.61 | 0.00 | 624.26 | 944 | MOONEY, HAROLD O & LOUISE J |
| *1 | 4740 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 948 | ELLIS, CHRISTOPHER & SHANNON |
| *1 | 4750 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 950 | BOURAS, DIMITRI J |
| *1 | 4755 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 951 | FIVE GRIER ROAD TRUST |
| *1 | 4760 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 952 | DIGNAN ZUICHES FAMILY TRUST |
| *1 | 4765 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 953 | DIGNAN ZUICHES FAMILY TRUST |
| *1 | 4770 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 954 | BUTTNER, EDWARD W, IV |
| *1 | 4775 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 955 | NAPOLITANO FAMILY TRUST |
| *1 | 4780 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 956 | DINARDO, BETH A |
| *1 | 4785 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 957 | MCCALL, RITA F |
| *1 | 4790 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 958 | CARTER EVANS REVOC TRUST |
| *1 | 4795 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 959 | BCPR 76 PR, LLC |
| *1 | 4800 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 960 | SUSAN J REES TRUST |
| *1 | 4805 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 961 | WHITE, LLC |
| *1 | 4815 | 0 | 654.87 | 0.00 | 0.00 | -22.51 | 0.00 | 632.36 | 963 | PERLOFF, DAVID S & SANDRA L TRUSTEES |
| *1 | 4820 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 964 | SIEGLER LIVING TRUST |
| *1 | 4825 | 0 | 6,941.62 | 0.00 | 0.00 | 0.00 | 0.00 | 6,941.62 | 965 | TOWN OF KENNEBUNKPORT |
| *1 | 4835 | 0 | 654.87 | 0.00 | 0.00 | -0.01 | 0.00 | 654.86 | 967 | WHITWORTH TRUST |
| *1 | 4840 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 968 | CARD FAMILY REAL ESTATE TRUST |
| *1 | 4850 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 970 | FRENCH, RONALD G & JODI B |
| *1 | 4855 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 971 | SILLARS, KATHERINE L |
| *1 | 4860 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 972 | CORELLE REALTY TRUST |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 4865 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 973 WOLFSON, PETER J & MARSHA |
| *1 | 4870 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 974 PIASECKI, JOHN J JR |
| *1 | 4875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 975 BRASSARD, DIANE S |
| *1 | 4880 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 976 O'BRIEN, PATRICK G & GERALDINE |
| *1 | 4885 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 977 BLAKENEY, WILLIAM & ELEANOR |
| *1 | 4890 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 978 31 PIER ROAD, LLC |
| *1 | 4895 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 979 PORPOISE SHORE, LLC |
| *1 | 4905 | 0 | 654.87 | 0.00 | 0.00 | -0.25 | 0.00 | 654.62 | | 981 RICHARD K ANDREWS REVOCABLE TRUST |
| *1 | 4910 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 982 RICHARD M PERLMUTTER REVOCABLE TRUST |
| *1 | 4915 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 983 JILL C NESHER REVOCABLE TRUST |
| *1 | 4920 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 984 CARRIAGE HOUSE INVESTMENTS, LTD |
| *1 | 4925 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 985 JILL C NESHER REVOCABLE TRUST |
| *1 | 4930 | 0 | 3,274.35 | 0.00 | 0.00 | 0.00 | 0.00 | 3,274.35 | | 986 WRIGHT FAMILY PROPERTY LP |
| *1 | 4935 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 987 2538970 ONTARIO, INC |
| *1 | 4940 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 988 2538970 ONTARIO, INC |
| *1 | 4945 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 989 BRIGGS, EDWIN W |
| *1 | 4950 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 990 BETSES, DAVID A & JEAN ANNE M |
| *1 | 4955 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 991 RUBIN, BENJAMIN & KENNEY, TARA |
| *1 | 4960 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 992 JANET H LOMBARD TRUST OF 2013 |
| *1 | 4965 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 993 PERKINS REALTY TRUST |
| *1 | 4969 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 969 ALDER RUN DEVELOPMENT COMPANY, LLC |
| *1 | 4970 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 994 16 R CAPE P., LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 4975 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 995 CALVIN F SENNING LIVING TRUST |
| *1 | 4980 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 996 WRIGHT, EDWARD & BARBARA |
| *1 | 4990 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 998 DUPRAS, ARLENE STIRK TRUSTEE |
| *1 | 4995 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 999 DENNIS, ROBERT & MARJORIE TRUSTEES |
| *1 | 5000 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1000 ROBERT JOB IV 2012 REVOCABLE TRUST |
| *1 | 5005 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1001 WILSON S GOODWIN TRUST |
| *1 | 5010 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1002 NOEL, WILLIAM D |
| *1 | 5015 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1003 KENNEBUNKPORT COTTAGE TRUST |
| *1 | 5025 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1005 GST NONEXEMPT MARITAL TRUST |
| *1 | 5035 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1007 PERRY, RICHARD J & CARLSON, ELAINE |
| *1 | 5045 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1009 PATRICIA T SMITH REVOCABLE TRUST |
| *1 | 5050 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1010 DAVIS, ROBERT E & DEBORAH D |
| *1 | 5055 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1011 MACDONALD, BRIAN J & SUSAN F |
| *1 | 5060 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1012 FULFORD, RAVEN R & JONATHAN M |
| *1 | 5065 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1013 BLOOMINGDALE, ANDREW B |
| *1 | 5070 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1014 HALL, KAREN E |
| *1 | 5075 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1015 PURINTON-DONAHUE TRUST |
| *1 | 5080 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1016 BENNETT, DANIEL D |
| *1 | 5085 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1017 BRIAN J CURLEY FAMILY TRUST |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 5090 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1018 WILDES, THOMAS E & BENJAMIN TRUSTEES |
| *1 | 5095 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1019 ANDERSEN, ARTHUR A, III & STEPHANIE M |
| *1 | 5100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1020 KELLY, PATRICK F & JANICE C |
| *1 | 5105 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1021 RAWLINS, NATHAN & GENA |
| *1 | 5115 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1023 BROWNING, GAIL F |
| *1 | 5120 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1024 HERRMANN, CHRISTIAN L & SUSAN S |
| *1 | 5125 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1025 LACHANCE, PAUL G |
| *1 | 5130 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1026 WHITNEY, SUSAN EMMONS |
| *1 | 5135 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1027 SOULE, WALTER F |
| *1 | 5140 | 0 | 2,455.76 | 0.00 | 0.00 | 0.00 | 0.00 | 2,455.76 | | 1028 THOMAS E BRADBURY REVOCABLE TRUST |
| *1 | 5145 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1029 D MICHAEL WESTON TRUST |
| *1 | 5155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1031 HALL, EDWARD R & ANNELIESE Z |
| *1 | 5160 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1032 MEAD, J MARTIN |
| *1 | 5165 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1033 PHILLIPS, JOHN S |
| *1 | 5170 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1034 FISHERS LANE TRUST |
| *1 | 5175 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1035 QUIGLEY, STEVEN F & KAREN I |
| *1 | 5180 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1036 FLINT, LINDA & FLINT-HOOKER, ELIZABETH |
| *1 | 5185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1037 HARRIMAN, SHIRLEY M & MATTHEWS, TARI LEE |
| *1 | 5190 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1038 HVK, LLC |
| *1 | 5200 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 1040 JOYCE, WILLIAM D & LINDA A |
| *1 | 5205 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1041 MARSHALL POINT REALTY, LLC |
| *1 | 5210 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1042 CHRISTOPHER C MCMAHON TRUST |
| *1 | 5215 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1043 FLETCHER, WARNER S & MARY F |

* = Override

Created Bills Report

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 5230 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1046 | SPENLINHAUER, STEPHEN P & ALICIA F |
| *1 | 5235 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1047 | MURPHY, ROBERT & ELIZABETH LIVING TRUST |
| *1 | 5240 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1048 | PETER H & JOANNE D TANNER TRUST |
| *1 | 5255 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1051 | JANDL, MARGARET M |
| *1 | 5260 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1052 | LONGORIA, STEVEN E & ANNE P |
| *1 | 5265 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1053 | STEWART, HELEN F & EDWARD J III |
| *1 | 5270 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1054 | NUTTER FAMILY RESIDENCE TRUST |
| *1 | 5275 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1055 | FREDERICK & DONNA TRUDO TRUSTS |
| *1 | 5280 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1056 | LATINO, ANTHONY |
| *1 | 5285 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1057 | THOMAS M REGAN REVOC TRUST |
| *1 | 5290 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1058 | MARSH COTTAGE, LLC |
| *1 | 5295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1059 | RYDER, JANE F & EARLY, RUTH A |
| *1 | 5300 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1060 | MILLER, MATTHEW D & MELANIE M |
| *1 | 5310 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1062 | ANDREA G SAVASTANO FAMILY TRUST |
| *1 | 5315 | 0 | 654.87 | 0.00 | 0.00 | -0.61 | 0.00 | 654.26 | 1063 | ZIMMERMANN, JOHN D & BETTE L |
| *1 | 5325 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1065 | O'BRIEN, ANDREW L & LISA A |
| *1 | 5335 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1067 | IRENE CYR IRREVOCABLE TRUST |
| *1 | 5340 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1068 | CONLEY, RONALD G & DEBORAH A |
| *1 | 5345 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1069 | ANDERSON FAMILY REVOCABLE TRUST |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 5350 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1070 | BRIAN F RIGNEY QP RESIDENCE TRUST |
| *1 | 5355 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1071 | LESLIE A EISENBERG REVOCABLE TRUST |
| *1 | 5360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1072 | EMILY COOPER REVOCABLE TRUST |
| *1 | 5365 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1073 | GORNY, ERIC |
| *1 | 5370 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1074 | FLYNN, SIMON A JR ET AL |
| *1 | 5375 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1075 | HAGUE, CHRISTIAN & WALTER, JENNIFER |
| *1 | 5380 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1076 | FLORIDA LECLERC FAMILY TRUST |
| *1 | 5385 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1077 | FAMILY TRUST |
| *1 | 5390 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1078 | PALEY FAMILY HOMES |
| *1 | 5395 | 0 | 1,964.61 | 0.00 | 0.00 | -66.50 | 0.00 | 1,898.11 | 1079 | GOOSE ROCKS BEACH HOLDINGS, LLC |
| *1 | 5400 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1080 | COPPOLA FAMILY REALTY TRUST |
| *1 | 5405 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1081 | ROBERT M BAYLIS IRREVOCABLE TRUST |
| *1 | 5410 | 0 | 654.87 | 0.00 | 0.00 | -2.51 | 0.00 | 652.36 | 1082 | SLOPER, JILL & MARQUIS KRISTIE |
| *1 | 5415 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1083 | W 131 KINGS HIGHWAY, LLC |
| *1 | 5420 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1084 | NATIONAL BANK & TRUST CO. |
| *1 | 5425 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1085 | GRB, LLC |
| *1 | 5430 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1086 | FERRARA, THOMAS G & PHILOMENA R |
| *1 | 5435 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1087 | WESTERLY TRUST |
| *1 | 5440 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1088 | ESKANDER, MEGAN N |
| *1 | 5445 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1089 | MEGAN N ESKANDER KENNEBUNKPORT TRUST |
| *1 | 5450 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1090 | MULVIHILL, MARY JANE & JASON D |
| *1 | 5455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1091 | PMC REALTY |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 5460 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1092 GREGORY, CHARLES J & PHILIP L JR |
| *1 | 5465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1093 SHERMAN, ROBERT F & CAROLYN K |
| *1 | 5470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1094 BARRY V & HARRIET M ENGEL TRUST |
| *1 | 5475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1095 ROBERT & JANE GARVEY REVOC TRUST |
| *1 | 5480 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1096 ROBERT M BAYLIS IRREVOCABLE TRUST |
| *1 | 5485 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1097 CADWELL, CHARLES A & SCHAPIRO, MARY L |
| *1 | 5495 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1099 MULVIHILL, KRISTEN ANDREA |
| *1 | 5500 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1100 JK REVOCABLE TRUST OF 2011 |
| *1 | 5505 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1101 ROBERT F. ALMEDER IRREVOCABLE TRUST |
| *1 | 5510 | 0 | 654.87 | 0.00 | 0.00 | -569.87 | 0.00 | 85.00 | | 1102 KINGS HIGHWAY REALTY TRUST |
| *1 | 5515 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1103 ROBERT M BAYLIS IRREVOCABLE TRUST |
| *1 | 5525 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1105 HEAPHY, LOIS |
| *1 | 5530 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1106 JMS REALTY TRUST |
| *1 | 5535 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1107 MARY C. KUDAROSKI REVOCABLE TRUST |
| *1 | 5540 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1108 HOWARD J NIXON FAMILY IRREVOCABLE TRUST |
| *1 | 5545 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1109 FILTEAU, TIMOTHY J & SANDRA A |
| *1 | 5550 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1110 SULLIVAN, MARK J & LINDA L |
| *1 | 5555 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1111 TSANOTELIS, REGINA M & NICHOLAS |
| *1 | 5560 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1112 COLBY, JUDITH RICE |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 5565 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1113 | FIVE SUNSET LANE REALTY TRUST |
| *1 | 5570 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1114 | TAYLOR FAMILY REVOCABLE TRUST |
| *1 | 5575 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1115 | KEVIN J REGAN REVOCABLE TRUST |
| *1 | 5580 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1116 | DYER, KERRY F & PATTI J |
| *1 | 5585 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1117 | GABRIELE FAMILY MAINE IRREVOCABLE TRUST |
| *1 | 5590 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1118 | PIERRE BOULANGER LIVING TRUST |
| *1 | 5595 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1119 | SKEIRIK KENNEBUNKPORT REALTY TRUST |
| *1 | 5600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1120 | ARLENE LAURENITIS REVOCABLE TRUST |
| *1 | 5605 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1121 | WHITTEMORE LANE IRREVOCABLE TRUST |
| *1 | 5610 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1122 | DUGAN LIVING TRUST |
| *1 | 5615 | 0 | 654.87 | 0.00 | 0.00 | -0.61 | 0.00 | 654.26 | 1123 | SULLIVAN, ROBERT & LESLIE |
| *1 | 5620 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1124 | VAILAS, JAMES C & KELLEY, MARGARET E |
| *1 | 5625 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1125 | PERIER, MAURA C & FRANCIS L., JR |
| *1 | 5630 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1126 | WHITTEMORE, CHARLES R & KRISTINE S |
| *1 | 5635 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1127 | JUNKER, WILLIAM A & MARIA |
| *1 | 5640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1128 | EILEEN HEATHER CHISHOLM LIVING TRUST |
| *1 | 5645 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1129 | SZOSTOWSKI, DAVID J & SHELIA L |
| *1 | 5650 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1130 | SULLIVAN, CHARLES W & JUDITH |
| *1 | 5655 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1131 | SWANTON, CHRISTINE E & BRUCE D |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---------------------------------------|
| *1 | 5660 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1132 | LAROCHELLE, PETER M |
| *1 | 5665 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1133 | HOLWAY, MANDY J |
| *1 | 5670 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1134 | DROHAN, JOAN M |
| *1 | 5675 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1135 | MARITIME COTTAGES, LLC |
| *1 | 5680 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1136 | MARITIME COTTAGES, LLC |
| *1 | 5685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1137 | MARITIME COTTAGES, LLC |
| *1 | 5690 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1138 | EMANOUIL REALTY TRUST |
| *1 | 5695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1139 | MARITIME COTTAGES, LLC |
| *1 | 5700 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1140 | O'BRIEN CHILDRENS GIFT TRUST |
| *1 | 5705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1141 | RYAN, CHRISTINE M & STEPHEN F |
| *1 | 5710 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1142 | FARROW, JASON & LAUREN C |
| *1 | 5715 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1143 | PATRICK E ECHLIN LIVING TRUST |
| *1 | 5720 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1144 | KRAEUTER, JOHN N |
| *1 | 5725 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1145 | COBBS, PATRICK C |
| *1 | 5730 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1146 | MAYNARD FAMILY IRREVOCABLE TRUST |
| *1 | 5735 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1147 | BRUCE FAMILY TRUST |
| *1 | 5740 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1148 | COSTA COTTAGE, LLC |
| *1 | 5745 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1149 | 154 KINGS HIGHWAY, LLC |
| *1 | 5750 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1150 | WILKINSON, KAREN & PLENTZAS, BETH ANN |
| *1 | 5755 | 0 | 654.87 | 0.00 | 0.00 | -6.75 | 0.00 | 648.12 | 1151 | BP FLEETWOOD LIVING TRUST |
| *1 | 5760 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1152 | RENY, MARTIN A |
| *1 | 5765 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1153 | GUTERMANN, PETER & CYNTHIA |
| *1 | 5775 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1155 | DEANGELIS, JOSEPH & VIRGINIA TRUSTEES |
| *1 | 5780 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1156 | KILLYBEGS, LLC |
| *1 | 5785 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1157 | GLOBEVEST CAPTIAL REAL ESTATE |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---------------------------------------|
| *1 | 5795 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1159 | SMITH BROOK HOLDINGS, LLC |
| *1 | 5800 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1160 | BENSON FAMILY TRUST |
| *1 | 5805 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1161 | LUTHERN, WILLIAM R & JOAN B |
| *1 | 5810 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1162 | MARON, MICHAEL B & DAWN W |
| *1 | 5825 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1165 | TINA, LLC |
| *1 | 5830 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1166 | DINARDO, ANGELO & JEANNE |
| *1 | 5835 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1167 | MURPHY, BRIAN & MELISSA |
| *1 | 5840 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1168 | JOHN R LEEMAN REVOCABLE TRUST |
| *1 | 5855 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1171 | FORREST, WILLIAM D & JULIAN, NANCIE M |
| *1 | 5860 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1172 | REYNOLDS, ANNE |
| *1 | 5865 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1173 | JOANNE K GUSTIN LIVING TRUST |
| *1 | 5870 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1174 | JOEL-MUDD, HOLLY |
| *1 | 5875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1175 | CD MN REVOCABLE TRUST |
| *1 | 5880 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1176 | COOPERBERG, STEPHEN D |
| *1 | 5885 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1177 | WALTON FAMILY REALTY TRUST |
| *1 | 5890 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1178 | EATON, DAVID & SCULLY-EATON, JENNIFER |
| *1 | 5895 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1179 | SHERMAN KINNEY PROPERTIES II, LLC |
| *1 | 5905 | 0 | 654.87 | 0.00 | 0.00 | -9.41 | 0.00 | 645.46 | 1181 | GALLANT, JOHN O |
| *1 | 5910 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1182 | MARGARET P MIX RE TRUST |
| *1 | 5915 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1183 | 213 KINGS HIGHWAY REALTY TRUST |
| *1 | 5920 | 0 | 654.87 | 0.00 | 0.00 | -122.52 | 0.00 | 532.35 | 1184 | GOOSE ROCKS BEACH HOLDINGS, LLC |
| *1 | 5930 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1186 | DOLBEN, SUMI B |
| *1 | 5935 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1187 | M&J JONES REVOCABLE TRUST |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 5940 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1188 GRB TWIN, LLC |
| *1 | 5945 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1189 FINNERAL, CHRISTOPHER |
| *1 | 5950 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1190 PARSONS, LISA SOTIR |
| *1 | 5955 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1191 SCHMITT FAMILY TRUST |
| *1 | 5960 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1192 O'CONNOR, TERRENCE G & LEAHEY, JOAN M |
| *1 | 5965 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1193 EMERY & STAPLES COTTAGES, LLC |
| *1 | 5970 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1194 EMERY & STAPLES COTTAGES, LLC |
| *1 | 5975 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1195 COTTMAN FAMILY TRUST |
| *1 | 5980 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1196 SCIPIO REAL ESTATE INVESTMENTS LP |
| *1 | 5985 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1197 ANNE E BENEDICT REVOCABLE TRUST 2000 |
| *1 | 5990 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1198 GRAY GOOSE ROCKS BEACH LLC |
| *1 | 5995 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1199 AGOSTINELLI, DONALD C & LILA |
| *1 | 6000 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1200 ALLISON W PHINNEY TRUST |
| *1 | 6005 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1201 VANDERVOORN, RICHARD M & LAURENCE W |
| *1 | 6010 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1202 663 KINGS HIGHWAY REALTY TRUST |
| *1 | 6015 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1203 GERRISH, JULE |
| *1 | 6020 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1204 KELLY, MICHAEL L & DONNA G |
| *1 | 6030 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1206 BADERTSCHER, MARK & KATHERINE |
| *1 | 6035 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1207 CASEY, IRENE M |
| *1 | 6040 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1208 CATHERINE E CASEY-FLAVIN REVOC TRUST |
| *1 | 6045 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1209 CATHERINE E CASEY-FLAVIN REVOC TRUST |
| *1 | 6050 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1210 CLG MANAGEMENT, LLC |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 6060 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1212 | GALLAGHER, MARK C & JENNIFER M |
| *1 | 6065 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1213 | MAGRI, ELIZABETH C |
| *1 | 6070 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1214 | KNZ PROPERTIES, LLC |
| *1 | 6075 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1215 | GOOSE ROCKS BEACH HOLDINGS, LLC |
| *1 | 6080 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1216 | GAIL DANCKERT REVOCABLE TRUST |
| *1 | 6090 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1218 | LEMAY, ARTHUR P & MARY ELLEN |
| *1 | 6095 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | 1219 | 670 GRB REALTY TRUST |
| *1 | 6100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1220 | O'BRIEN, SUSAN & GUARINO LUCAS |
| *1 | 6105 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1221 | KOFFS, RICHARD L & KATHLEEN ANN |
| *1 | 6110 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1222 | COOPER, GREGORY E & CHRISTOPHER E |
| *1 | 6115 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1223 | ANUSZEWSKI, THOMAS J |
| *1 | 6120 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1224 | DIGESER, NANCY J |
| *1 | 6125 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1225 | JOHNSON, KATHERINE R |
| *1 | 6130 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1226 | GORDON, ROBERT A & CATHY M |
| *1 | 6140 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1228 | ROBER F. ALMEDER IRREVOCABLE TRUST |
| *1 | 6145 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1229 | ROBERT & JUNE HERRON IRREVOCABLE TRUST |
| *1 | 6155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1231 | CAHOON, JILL C & ANDREW D |
| *1 | 6160 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1232 | DAVIS, RICHARD A & SHERYL D |
| *1 | 6165 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1233 | MARSH WINDS, LLC |
| *1 | 6170 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1234 | FLAVIN LIVING TRUST |
| *1 | 6175 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1235 | MCGOVERN, KEVIN M & TRACY G |
| *1 | 6180 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1236 | MERRILL REALTY TRUST |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|---------|------|------|----------|----------|--------|---------|---------------------------------------|
| *1 | 6185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1237 | FITZGERALD, MICHAEL J III & MARILYN A |
| *1 | 6190 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1238 | 218 KINGS HIGHWAY, LLC |
| *1 | 6200 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1240 | GERALD J. LUSSIER TRUST |
| *1 | 6215 | 0 | 982.30 | 0.00 | 0.00 | -33.77 | 0.00 | 948.53 | 1243 | THREE DYKE ROAD LIMITED PARTNERSHIP |
| *1 | 6220 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1244 | AMBROZ, JULIANN |
| *1 | 6225 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1245 | WAUGH, KIMBERLY |
| *1 | 6230 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1246 | KURLANSKI, ZBIGNIEW J & KATHLEEN M |
| *1 | 6235 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1247 | KRETZ, LISA & DEROCHE JANICE |
| *1 | 6240 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1248 | SIREEN, GERALDINE F |
| *1 | 6245 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1249 | WITLEN, LAUREN E & PETER H |
| *1 | 6250 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1250 | MOTES, HEATHER |
| *1 | 6255 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1251 | CREAMER, STEPHEN P & LINDA M |
| *1 | 6260 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1252 | PARIS, JONATHAN B |
| *1 | 6265 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1253 | BURBANK, WAYNE N & PAULETTE R |
| *1 | 6270 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1254 | WYSOCKI, BENJAMIN S & KIM S |
| *1 | 6275 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1255 | 228 KINGS HIGHWAY REALTY TRUST |
| *1 | 6280 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1256 | SCHMALZ, CARL N JR & DOLORES T |
| *1 | 6285 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1257 | COOK, RICHARD F JR |
| *1 | 6290 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1258 | TYZIK, NINA E |
| *1 | 6295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1259 | HANNA, LINDA B & STEVEN R |
| *1 | 6300 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1260 | LARRABEE, JONATHAN F & HEATHER A |
| *1 | 6305 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1261 | DOYLE, JOHN R & PATRICIA A |
| *1 | 6310 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1262 | GUSTIN, JOANNE K |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|---------|------|------|----------|----------|--------|---|
| *1 | 6320 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1264 PATRICK REGAN IRREVOCABLE TRUST |
| *1 | 6325 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1265 BLUE WILDWOOD, LLC |
| *1 | 6335 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1267 SIDARI, JOSEPH N & KAREN O |
| *1 | 6340 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1268 MADGE, RANDALL H & KATHLEEN J |
| *1 | 6345 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1269 ALEXANDER, ALAN R & SHARON S |
| *1 | 6355 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1271 DAL MARE, LLC |
| *1 | 6360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1272 WORTHLEY, KELVIN A & DIANA M |
| *1 | 6365 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1273 ROBERT C BLANKS REVOCABLE TRUST |
| *1 | 6370 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1274 STEPHEN H PAINTER, III & ANN K CORBEY RE |
| *1 | 6375 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1275 LAFLAMME, VICKY |
| *1 | 6380 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1276 IAN AND KAREN ATHERTON REVOCABLE TRUST |
| *1 | 6390 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1278 AMY K PIRONTI LIVING TRUST |
| *1 | 6395 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1279 HODGKINS, SCOTT A & CAROL J |
| *1 | 6400 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1280 DEMARRE FAMILY REALTY TRUST |
| *1 | 6405 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1281 SCHLEIF, KELVIN O & STACY L |
| *1 | 6410 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1282 PAULA KELSON 2018 REVOCABLE TRUST |
| *1 | 6415 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1283 O'BRIEN FAMILY REVOCABLE TRUST |
| *1 | 6420 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1284 ROBERT J & DIANE P BALSIS REALTY TRUST |
| *1 | 6425 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1285 JOYCE E CURTIS FAMILY TRUST |
| *1 | 6430 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1286 GRIFFIN, KENNETH |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 6435 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1287 | MILLARD FAMILY TRUST |
| *1 | 6440 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1288 | INNISS, MELISSA H |
| *1 | 6445 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1289 | SCHAEFFER, JOHN A & JENNIFER GRAVES |
| *1 | 6450 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1290 | CORINNE C LONGO IRREVOCABLE TRUST |
| *1 | 6455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1291 | RUSSELL, ROBERT P |
| *1 | 6460 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1292 | 34 WILDWOOD AVE REVOC REALTY TRUST |
| *1 | 6465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1293 | ROBERGE, RICHARD J & ELAINE J |
| *1 | 6470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1294 | SCHURIAN, NANCY C & HERBERT G TRUSTEES |
| *1 | 6475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1295 | GRBFH, LLC |
| *1 | 6480 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1296 | CIARAMETARO FAMILY TRUST |
| *1 | 6490 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1298 | LOIKA FAMILY REALTY TRUST |
| *1 | 6495 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1299 | ADLER, KIMBERLY CHASE & THOMAS J |
| *1 | 6500 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1300 | HANIFY, ELIZABETH H |
| *1 | 6505 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1301 | MOSER, STEPHEN J & DENISE A |
| *1 | 6510 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1302 | ROBERT HEATON TRUST |
| *1 | 6515 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | 1303 | MOORE FAMILY IRREVOCABLE TRUST |
| *1 | 6520 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1304 | TIMBER ISLE TRUST |
| *1 | 6525 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1305 | GREENE, PATRICIA L |
| *1 | 6530 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1306 | OTIS FAMILY LIMITED PARTNERSHIP |
| *1 | 6535 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1307 | BETSES, JOSEPHINE E |
| *1 | 6545 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1309 | SMG REVOCABLE TRUST |
| *1 | 6550 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1310 | MAUCIERI, NICHOLAS R JR & DEBORAH |
| *1 | 6555 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1311 | MAUCIERI, NICHOLAS R JR & DEBORAH |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|---|
| *1 | 6560 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1312 | BOSNIAN, ADAM |
| *1 | 6565 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1313 | GALLIGAN, THOMAS J III & ANN C |
| *1 | 6570 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1314 | KEEFE FAMILY MAINE REALTY TRUST |
| *1 | 6575 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1315 | ALMOST HEAVEN, LLC |
| *1 | 6580 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1316 | BEAVER CREEK IRREVOCABLE TRUST |
| *1 | 6585 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1317 | BEAVER POND TRUST |
| *1 | 6590 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1318 | BEAVER POND TRUST |
| *1 | 6595 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1319 | 5 HAYWARD AVE QUALIFIED PRT |
| *1 | 6600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1320 | COHEN, J SOLOMON & COFER, DORCAS H |
| *1 | 6605 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1321 | CLAIRE M MACE REVOCABLE TRUST |
| *1 | 6615 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1323 | HOLLAND, HEIDI V |
| *1 | 6620 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1324 | JOSHI, ANNE C |
| *1 | 6625 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1325 | JAMES H DUFFY REVOCABLE TRUST |
| *1 | 6630 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1326 | LESLIE A JOSSELYN-ROSE REVOCABLE TURST |
| *1 | 6635 | 0 | 1,309.74 | 0.00 | 0.00 | -5.00 | 0.00 | 1,304.74 | 1327 | GOOSE ROCKS REALTY TRUST |
| *1 | 6640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1328 | SANDBOXKPT, LLC |
| *1 | 6645 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1329 | AMMANN, WILLIAM JR & MARY |
| *1 | 6650 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1330 | FORBES, EDWARD K & MARTHA P |
| *1 | 6655 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1331 | PAUL & AUDREY LAKIN REVOCABLE TRUST |
| *1 | 6660 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1332 | WHITEHEAD, HOWARD J & MARY ELLEN |
| *1 | 6665 | 0 | 654.87 | 0.00 | 0.00 | -569.87 | 0.00 | 85.00 | 1333 | KRZMARZICK, DAN |
| *1 | 6670 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1334 | DAVID G CANEGALLO REVOCABLE TRUST |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 6675 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1335 | PAMELA T REYNOLDS REVOCABLE TRUST |
| *1 | 6680 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1336 | LEVIN, ARTHUR L |
| *1 | 6685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1337 | BANCROFT, PHILIP D |
| *1 | 6690 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1338 | BOATHOUSE 7, LLC |
| *1 | 6695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1339 | BURFORD, LINDA W |
| *1 | 6705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1341 | CARR, JAMES & PAMELA |
| *1 | 6710 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1342 | NEWCOMB, CHARLES & DUFFY, CATHERINE |
| *1 | 6715 | 0 | 654.87 | 0.00 | 0.00 | -6.61 | 0.00 | 648.26 | 1343 | LACKNER, JOHN T & KATRINA M |
| *1 | 6720 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1344 | PETER BOGINSKI TRUST |
| *1 | 6725 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1345 | COFFIN, CHRISTOPHER J & GERALDINE H |
| *1 | 6760 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1352 | BRASK, PETER H |
| *1 | 6765 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | 1353 | 20 SAND POINT ROAD TRUST |
| *1 | 6770 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1354 | MEYER FAMILY REALTY TRUST |
| *1 | 6775 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1355 | LTG FAMILY TRUST |
| *1 | 6780 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1356 | MCCARTHY, SEAN T |
| *1 | 6785 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1357 | MCCARTHY REALTY TRUST |
| *1 | 6790 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1358 | WHITE CAP PROPERTIES, LLC |
| *1 | 6795 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1359 | PIERCE, MARY T |
| *1 | 6800 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1360 | KATHERINE OATES NIXON REVOCABLE TRUST |
| *1 | 6805 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1361 | CHRISTOPHRER B ASPLUNDH GST TRUST |
| *1 | 6810 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1362 | ALEXANDRA B GULDBERG REMAINDER TRUST |
| *1 | 6815 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1363 | MCALPINE, DEBORAH M |
| *1 | 6820 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1364 | GLAVIN, FRANCIS J & MARY |
| *1 | 6825 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1365 | FITZPATRICK, JAN S |
| *1 | 6830 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1366 | EPSTEIN, REBECCA W |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 6835 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1367 MCALPINE, DEBORAH M |
| *1 | 6840 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1368 O'CONNOR, JAY JR & MICHAEL |
| *1 | 6845 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1369 SAND POINT REALTY TRUST |
| *1 | 6850 | 0 | 654.87 | 0.00 | 0.00 | -0.03 | 0.00 | 654.84 | | 1370 MANLEY, ARTHUR G & SANDRA L |
| *1 | 6855 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1371 DELHOME, ROBERT |
| *1 | 6860 | 0 | 654.87 | 0.00 | 0.00 | -889.56 | 0.00 | -234.69 | | 1372 BONFIRE REALTY TRUST |
| *1 | 6870 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1374 RAMSEY, THOMAS M ET AL |
| *1 | 6875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1375 DOVETAIL PROPERTIES, LLC |
| *1 | 6880 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1376 LORING, ROBERT S & ANNETTE S |
| *1 | 6885 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1377 LEWIS FAMILY REALTY TRUST |
| *1 | 6890 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1378 WASSERMAN FAMILY TRUST |
| *1 | 6895 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1379 CHERYL E CARRICK REV LIVING TRUST |
| *1 | 6900 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1380 RAYMOND F WHITE FAMILY TRUST |
| *1 | 6905 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1381 THEMENS, PIERRE-ANDRE & PERUSSE, JOHANNE |
| *1 | 6910 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1382 DICOSTANZO, JERANE |
| *1 | 6915 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1383 LALANDE, MICHEL |
| *1 | 6920 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1384 RYAN, BRENDAN T |
| *1 | 6925 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1385 PATTILLO, LINDA L |
| *1 | 6930 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1386 115 INDEPENDENCE, LLC |
| *1 | 6935 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1387 C-LARK, LLC |
| *1 | 6940 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1388 HAROLD HIMMELMAN REVOC TRUST |
| *1 | 6945 | 0 | 654.87 | 0.00 | 0.00 | -29.00 | 0.00 | 625.87 | | 1389 JOHN A PARKER QUALIFIED PR TRUST |
| *1 | 6955 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1391 BARBARA H RUSSELL TRUST |
| *1 | 6960 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1392 AVERSA, ANTHONY J |
| *1 | 7040 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1408 SANDIFER, MICHAEL & ALICE B TRUSTEES |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|-----------|------|------|----------|----------|-----------|---------|---|
| *1 | 7045 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1409 | LESLIE A JOSSELYN-ROSE REVOCABLE TRUST |
| *1 | 7050 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1410 | KRISTEN B RAINES REVOCABLE TRUST |
| *1 | 7055 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1411 | KATHLEEN H WALSH TRUST 1997 |
| *1 | 7060 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1412 | FORMICHELLI WENGEL LIVING TRUST |
| *1 | 7065 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1413 | TAYLOR-REYNOLDS TRUST |
| *1 | 7070 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1414 | 866 KINGS HIGHWAY, LLC |
| *1 | 7075 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1415 | WILSON, SUZANNE M |
| *1 | 7080 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1416 | MAPLEWOOD AT GOOSEROCKS BEACH, LLC |
| *1 | 7085 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1417 | DONOVAN BRENDAN R & MARION L |
| *1 | 7090 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1418 | MACLEOD, LIISA & JOHN |
| *1 | 7095 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1419 | STAFFORD REALTY TRUST |
| *1 | 7100 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1420 | MARIAN SIMPSON PROPERTY TRUST |
| *1 | 7105 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1421 | ANCHORAGE, LLC |
| *1 | 7110 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1422 | GEORGE A VICENZI TRUST |
| *1 | 7115 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1423 | PETE MURPHY REVOCABLE TRUST |
| *1 | 7120 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1424 | FEHNEL, DAVID J & GABRIEL, ANDREA |
| *1 | 7125 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1425 | SOUSA, RONALD J & PATRICIA A |
| *1 | 7130 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 1426 | TIDES SUITES OWNER, LLC |
| *1 | 7135 | 0 | 11,787.66 | 0.00 | 0.00 | 0.00 | 0.00 | 11,787.66 | 1427 | TIDES BEACH CLUB, LLC |
| *1 | 7140 | 0 | 654.87 | 0.00 | 0.00 | -1.35 | 0.00 | 653.52 | 1428 | GRETCHEN E PALMER IRREVOCABLE TRUST |
| *1 | 7145 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1429 | O'HARA, KARL J & BARBARA |
| *1 | 7150 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1430 | BENINATI, JOHN D & PATRICIA A |
| *1 | 7155 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1431 | MICHAEL S MORTON REVOCABLE TRUST |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 7160 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1432 ZOLPER, ANDREW |
| *1 | 7165 | 0 | 654.87 | 0.00 | 0.00 | -577.97 | 0.00 | 76.90 | | 1433 DONNA K LENCKI REVOCABLE TRUST |
| *1 | 7170 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1434 EMMONS, ROBERT |
| *1 | 7175 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1435 CURTIS, NEIL E & HOUSMAN, HOLLY L |
| *1 | 7180 | 0 | 654.87 | 0.00 | 0.00 | -0.09 | 0.00 | 654.78 | | 1436 DONNA K LENCKI REVOCABLE TRUST |
| *1 | 7185 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1437 VELJI REALTY LLC |
| *1 | 7190 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1438 DWYER, ROBERT & SABADIE, FRANCISCA A |
| *1 | 7195 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1439 MAULE FAMILY GOOSE ROCKS BEACH TRUST |
| *1 | 7200 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | | 1440 WJS 1961, LLC |
| *1 | 7205 | 0 | 654.87 | 0.00 | 0.00 | 657.40 | 41.72 | 1,353.99 | | 1441 ROBERTS, EVERETT L |
| *1 | 7210 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | | 1442 FESSENDEN, WENDELL WAYNE II |
| *1 | 7215 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1443 WAUGH FAMILY REVOCABLE TRUST |
| *1 | 7220 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1444 GILMAN RICHARD L & JUDITH ANN |
| *1 | 7225 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1445 35 WILDWOOD, LLC |
| *1 | 7230 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1446 BEDARD, DOUGLAS J & ELIZABETH G |
| *1 | 7235 | 0 | 654.87 | 0.00 | 0.00 | -30.13 | 0.00 | 624.74 | | 1447 CWU PROPERTIES, LLC |
| *1 | 7250 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1450 BRILL, NICHOLAS S & MARGARET W |
| *1 | 7255 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1451 JOHN J MCEVOY JR TRUST |
| *1 | 7260 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1452 MCLAUGHLIN, GEORGE S JR |
| *1 | 7265 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1453 WOOD, DEBRA JEAN |
| *1 | 7270 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1454 DAVID J MORROW REVOCABLE TRUST |
| *1 | 7275 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1455 6 SEA LANE REALTY TRUST |
| *1 | 7285 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1457 SINGER, KATHLEEN M |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|-------------------------------------|
| *1 | 7290 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1458 | ANDERSON, ROBERT J & MARJORIE A |
| *1 | 7295 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1459 | SHEPARD, LINDA E |
| *1 | 7300 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1460 | DINARDO, GREGG W & ALLISON A |
| *1 | 7305 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1461 | WILLIAM J LEFFLER II LIVING TRUST |
| *1 | 7310 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1462 | CALLEY, LLC |
| *1 | 7325 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1465 | TRUDO FAMILY REALTY TRUST |
| *1 | 7327 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 732 | TANGO REAL ESTATE, LLC |
| *1 | 7330 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1466 | SCHOOL STREET IRREVOCABLE TRUST |
| *1 | 7335 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1467 | GASINK, NANCY C |
| *1 | 7340 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1468 | WESTPORT TRUST |
| *1 | 7345 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1469 | LINNEMANN, ROGER PATRICK |
| *1 | 7350 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1470 | BROADDUS, III, JOHN A & MOLLY |
| *1 | 7355 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1471 | MCCRAE FAMILY IRREVOCABLE TRUST |
| *1 | 7360 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1472 | MACDONALD, PAUL & KELLEY |
| *1 | 7370 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1474 | KINGS COTTAGE, LLC |
| *1 | 7375 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1475 | NANCY S. BRAVIN REVOCABLE TRUST |
| *1 | 7380 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1476 | GORDON FAMILY HOME PLACE, LLC |
| *1 | 7385 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1477 | WEYL, THOMAS J III & PAMELA C |
| *1 | 7395 | 0 | 1,309.74 | 0.00 | 0.00 | 1,227.27 | 83.44 | 2,620.45 | 1479 | ALBERTA LTD 940329 |
| *1 | 7400 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1480 | REARDON, PAUL J |
| *1 | 7405 | 0 | 654.87 | 0.00 | 0.00 | -6.81 | 0.00 | 648.06 | 1481 | RAMSEY, ROBERT J & MCHUGH, KRISTIN |
| *1 | 7410 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1482 | GOLDSTEIN MICHELMAN REVOCABLE TRUST |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 7415 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1483 | CARPENTER, PATRICK J & ELIZABETH R |
| *1 | 7420 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1484 | GLICKMAN, THEO & SNYDER, STEVEN |
| *1 | 7425 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1485 | SUE A ROTH FAMILY TRUST & DAVIS, REBECCA |
| *1 | 7430 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1486 | SMITH, MARK A |
| *1 | 7435 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1487 | ROONEY, LINDA M |
| *1 | 7440 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1488 | DORRANCE, LLC |
| *1 | 7445 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1489 | SMITH, MARK W |
| *1 | 7455 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1491 | HOLDEN, DAVID J., JR |
| *1 | 7460 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1492 | JEANNETTE I MURPHY REVOC TRUST |
| *1 | 7465 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1493 | MARTIN FAMILY TRUST |
| *1 | 7470 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1494 | ROBERT & ANN H MURPHY IRREV TRUST |
| *1 | 7475 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1495 | JURGA, STANLEY M & CAROL E |
| *1 | 7480 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1496 | PETER H MCDONALD TRUST |
| *1 | 7485 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1497 | ROTHBURD, CRAIG E |
| *1 | 7490 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1498 | TEELE LIVING TRUST |
| *1 | 7495 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1499 | FITZGERALD, MICHAEL J IV |
| *1 | 7500 | 0 | 1,964.61 | 0.00 | 0.00 | 0.00 | 0.00 | 1,964.61 | 1500 | GREEN-FRENCH REALTY TRUST |
| *1 | 7505 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1501 | BENINATI, JOHN & KATHERINE |
| *1 | 7510 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1502 | SHUSTER, G VIRGINIA |
| *1 | 7515 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1503 | MEAGHER FAMILY REVOCABLE TRUST |
| *1 | 7520 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1504 | MARIANA VORCE FAMILY REALTY TRUST |
| *1 | 7525 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1505 | RUSSOTTO, ALINE |
| *1 | 7530 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1506 | EDGEWOOD 16 REALTY TRUST |
| *1 | 7540 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1508 | FREUD, CYNTHIA P |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|------|------|------|----------|------|------|----------|----------|----------|---|
| *1 | 7545 | 0 | 1,309.74 | 0.00 | 0.00 | -0.75 | 0.00 | 1,308.99 | 1509 FITZULA, ELIZABETH C |
| *1 | 7550 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1510 LEVY, ROBERT & LISA |
| *1 | 7555 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1511 VELJI REALTY LLC |
| *1 | 7560 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1512 DORAN, PAUL R & DENISE R TRUSTEES |
| *1 | 7565 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1513 GIFFEN, GARY D |
| *1 | 7570 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1514 MARCUS FAMILY TRUST |
| *1 | 7575 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1515 MARILYN DOLBEARE LINN TRUST |
| *1 | 7580 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1516 QUEEN, GRACE EST |
| *1 | 7585 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1517 LAFOLLETTE, JAMES O |
| *1 | 7590 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1518 MCELWEE, NEAL D & JOAN M |
| *1 | 7595 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1519 LACHIATTO ALEXANDER M |
| *1 | 7600 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1520 ROBERT H PEARCE TRUST |
| *1 | 7605 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1521 JOHN HARRIS REVOCABLE TRUST |
| *1 | 7610 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1522 JOHN HARRIS REVOCABLE TRUST |
| *1 | 7615 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1523 ANN T SMITH REALTY TRUST |
| *1 | 7620 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1524 SULLIVAN, JAMES & LINDA |
| *1 | 7625 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1525 KRAMER, EDWARD & ROBERTA |
| *1 | 7635 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1527 CONROD, BEVERLY E & SCOTT |
| *1 | 7640 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1528 WALKER, JOHN C & KATHLEEN |
| *1 | 7645 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1529 DEMARRE, JAMES P & CHERYL B |
| *1 | 7650 | 0 | 1,309.74 | 0.00 | 0.00 | -20.02 | 0.00 | 1,289.72 | 1530 RICHARD T STEIGER FAMILY IRR TRUST |
| *1 | 7655 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1531 SHORE, BENJAMIN J & ROSS, ELIZABETH |
| *1 | 7660 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1532 JAMES & CHERYL ARSENAULT REVOC TRSTS |

* = Override

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|----------|------|------|----------|----------|----------|---------|--|
| *1 | 7670 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1534 | DEBENEDICTIS, TERESA H & HENCHEY, JOHN P |
| *1 | 7675 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1535 | HLS REALTY TRUST |
| *1 | 7680 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1536 | RICHARD & REVA FETZNER ME REALTY TRUST |
| *1 | 7685 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1537 | MILLER ROGER H & LISA R |
| *1 | 7695 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1539 | JONES, BRUCE R & CHARLES B |
| *1 | 7705 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1541 | JONES, BRUCE R & CHARLES B |
| *1 | 7710 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1542 | HOGAN, PAUL J & FITZGERALD, GERALYN |
| *1 | 7715 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1543 | GANO, RHETT W |
| *1 | 7720 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1544 | WILSON, ARLINE E |
| *1 | 7725 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1545 | PETER O ANDERSON INVESTMENT TRUST |
| *1 | 7730 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1546 | EMMONS, BARBARA A & TARR, DONALD P |
| *1 | 7735 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1547 | BURNS, GREGORY R & NORINE C |
| *1 | 7740 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1548 | ABOVE TIDES END, LLC |
| *1 | 7745 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1549 | DELANEY, PETER & SUSAN |
| *1 | 7750 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1550 | OTTS, MARY ESTHER |
| *1 | 7755 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1551 | POWER, ROBERT A & ANN E |
| *1 | 7760 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1552 | OWEN, CHRISTOPHER JOHN & MARY HELEN |
| *1 | 7765 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1553 | VEILLET-CORELLO LIVING TRUST |
| *1 | 7770 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1554 | PELLETIER FAMILY 2020 REVOCABLE TRUST |
| *1 | 7775 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1555 | MCNALLY, ELIZABETH A & ROBERT J |
| *1 | 7780 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1556 | CAHILL, JAIME R |
| *1 | 7785 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1557 | CALCUTT, DENNIS P & TIFFANY F |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 1

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|------|------|---------|------|------|----------|----------|--------|---------|---|
| *1 | 7790 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1558 PAUL A VLASIC REVOCABLE TRUST |
| *1 | 7795 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1559 BRADSHAW, PETER S & MARGARET M |
| *1 | 7800 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1560 GILBERT, THOMAS J & JANE E |
| *1 | 7805 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1561 LANZETTA, THOMAS M & DONOVAN, JOAN L |
| *1 | 7810 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1562 MCLAUGHLIN, JOHN & CATHERINE |
| *1 | 7815 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1563 RAMSEY, DAVID L & TRACY A |
| *1 | 7820 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1564 TIMBER POINT GRB, LLC |
| *1 | 7825 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1565 OCEAN VIEW GRB, LLC |
| *1 | 7830 | 0 | 654.87 | 0.00 | 0.00 | -0.74 | 0.00 | 654.13 | | 1566 8 KINGS LANE KENNEBUNKPORT TRUST |
| *1 | 7835 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1567 KIMBERLY KNICKLE TIERNEY REVOCABLE TRUST |
| *1 | 7840 | 0 | 654.87 | 0.00 | 0.00 | -1.37 | 0.00 | 653.50 | | 1568 GREENBERG FAMILY TRUST |
| *1 | 7845 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1569 HARDING, MICHAEL R & KARA K |
| *1 | 7850 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1570 BARRETT, JOHN & MARY A |
| *1 | 7855 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1571 MAIONA, JOHN & JUSTIN |
| *1 | 7860 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1572 REBECCA B SHEPARD REVOCABLE TRUST |
| *1 | 7865 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1573 YOUNG, DAVID K & GILBERT, MARY BETH |
| *1 | 7870 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1574 MARGARET A KIRBY REVOCABLE TRUST |
| *1 | 7875 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1575 ZENO, DEBORAH Y & THOMAS J |
| *1 | 7900 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 1580 COYNE, JOHN E & ROBIN A |
| *1 | 8585 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | | 85 WARD, CRISTY & ROBERT D |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book: 1
1553 bills

0 1,617,627.15 0.00 0.00 14,342.02 1,486.43 1,633,455.60

Book : 2

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account | Name |
|------|-----|------|----------|------|------|----------|----------|----------|---------|--|
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 1533 | GRBKB PROPERTIES, LLC |
| *2 | 0 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 1721 | AYER, SUSAN W |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14221 | HURLEY, ROBERT P |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14222 | BALCAVAGE, ROBERT M |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14223 | COFFIN, BENJAMIN W & STEPHANIE L |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14226 | 15 LANGSFORD OWNER LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14227 | 15 LANGSFORD OWNER, LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14228 | WWW LANGSFORD, LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14229 | WWW LANGSFORD, LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14230 | 15 LANGSFORD OWNER LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14231 | 15 LANGSFORD OWNER LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14232 | 15 LANGSFORD OWNER LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14233 | 15 LANGSFORD OWNER LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14234 | 15 LANGSFORD OWNER LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14235 | 15 LANGSFORD OWNER LLC |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14243 | DAVIS, DEBORAH D |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14244 | SAMPSONS COVE SHORES CONDO |
| *2 | 0 | 0 | 1,309.74 | 0.00 | 0.00 | 0.00 | 0.00 | 1,309.74 | 14245 | SAMPSONS COVE SHORES CONDO |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14246 | SAMPSONS COVE SHORES CONDO |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14247 | CUMMISKEY, ADAM J |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14248 | EARLE L & ANN R DURHAM LIVING TRUST |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14249 | HOFFSIS FAMILY TRUST |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14250 | TUTHILL, GREGORY W & TRACEY W |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14251 | TREMBLAY, CHARLES R |

Created Bills Report

Rate Key : 126 Interest As Of: 05/06/2024

Book : 2

| Book | Seq | Cons | Regular | Misc | Tax | Past Due | Interest | Amount | Account Name |
|-------------------|------|------|--------------|------|------|-----------|----------|--------------|---|
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14252 GARY, MARK S & JENNIFER G |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14253 PINKHAM, JASON |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14255 GILLIS, KEVIN C & LAURA E |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14256 LANIO, VICTOR |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14257 DESIMONE, DAVID S & MORDA, GINA C |
| *2 | 0 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14258 DEVITA, JAMES T |
| *2 | 1 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 14225 BSS 1961 LLC |
| *2 | 2730 | 0 | 654.87 | 0.00 | 0.00 | 0.00 | 0.00 | 654.87 | 546 ROBERT JOB IV 2012 REVOCABLE TRUST |
| Book: 2 | | | | | | | | | |
| 32 bills | | 0 | 22,265.58 | 0.00 | 0.00 | 0.00 | 0.00 | 22,265.58 | |
| Total: | | 0 | 1,639,892.73 | 0.00 | 0.00 | 14,342.02 | 1,486.43 | 1,655,721.18 | |
| 1585 bills | | | | | | | | | |

AGENDA ITEM DIVIDER

CERTIFICATION OF PROPOSED ORDINANCE

TO: Tracey O’Roak, the Town Clerk of the Town of Kennebunkport. In the name of the State of Maine, we hereby certify that the Ordinance entitled:

"Proposed Amendment to Kennebunkport Town Code, Floodplain Management Ordinance"

attached hereto as Exhibit A is a true copy of the Ordinance proposed for enactment at the Annual Town Meeting of the Town of Kennebunkport to be held on June 11, 2024.

Dated this 25th day of April 2024, at Kennebunkport, Maine.

Jon Dykstra

Allen Daggett

Marybeth Gilbert

Sheila W. Matthews-Bull

Michael Weston, Chair

A majority of the Board of Selectmen of the Town of Kennebunkport

Exhibit A

Proposed Revision to Kennebunkport Floodplain Management Ordinance

ARTICLE I - PURPOSE AND ESTABLISHMENT

Certain areas of the Town of Kennebunkport, Maine are subject to periodic flooding, causing serious damages to properties within these areas. Relief is available in the form of flood insurance as authorized by the National Flood Insurance Act of 1968.

Therefore, the Town of Kennebunkport, Maine has chosen to become a participating community in the National Flood Insurance Program and agrees to comply with the requirements of the National Flood Insurance Act of 1968 (P.L. 90-488, as amended) as delineated in this Floodplain Management Ordinance.

It is the intent of the Town of Kennebunkport, Maine to require the recognition and evaluation of flood hazards in all official actions relating to land use in the floodplain areas having special flood hazards.

The Town of Kennebunkport has the legal authority to adopt land use and control measures to reduce future flood losses pursuant to Title 30-A MRSA, Sections 3001-3007, 4352, 4401-4407, and Title 38 MRSA, Section 440.

The National Flood Insurance Program, established in the aforesaid Act, provides that areas of the Town of Kennebunkport having a special flood hazard be identified by the Federal Emergency Management Agency and that floodplain management measures be applied in such flood hazard areas. This Ordinance establishes a Flood Hazard Development Permit system and review procedure for development activities in the designated flood hazard areas of the Town of Kennebunkport, Maine.

The areas of special flood hazard, Zones A, AE, and VE for the Town of Kennebunkport, York County, Maine, identified by the Federal Emergency Management Agency in a report entitled "Flood Insurance Study – York County, Maine" dated July 17, 2024, with accompanying "Flood Insurance Rate Map" dated July 17, 2024, and any subsequent amendments thereto (including, without limitation, a Letter of Map Revision No. 24-01-0144P, dated July 18, 2024) are hereby adopted by reference and declared to be a part of this Ordinance.

CERTIFICATION OF PROPOSED ORDINANCE

TO: Tracey O'Roak, Town Clerk of the Town of Kennebunkport. In the name of the State of Maine, we hereby certify that the Ordinance entitled:

“June, 2024 Amendment to the Town of Kennebunkport Land Use Ordinance

attached hereto is a true copy of the Ordinance proposed for enactment at the annual Town Meeting of the Town of Kennebunkport to be held on June 11, 2024.

Dated this 25th day of April, 2024, at Kennebunkport, Maine.

Jon Dykstra

Allen Daggett

Marybeth Gilbert

Sheila W. Matthews-Bull

Michael Weston, Chair

A majority of the Board of Selectmen of the Town of Kennebunkport

A majority of the Selectmen of the Town of Kennebunkport, Maine.

Exhibit A

Proposed Revisions to Town of Kennebunkport Land Use Ordinance

...

Chapter 129 Short-Term Rentals

...

§ 129-2 Applicability.

...

B. Prohibited short-term rentals. No person may offer for rent, operate, or otherwise use any dwelling unit in the Town of Kennebunkport for short-term rentals if:

- (1) Such person has not secured or maintained a valid short-term rental license for the premises; ~~or~~
- (2) The accommodations are an accessory apartment constructed or permitted after November 3, 2009, or a recreational vehicle, trailer or tent; or
- (3) The units (whether designated as affordable or not) are within an affordable housing development constructed or permitted after July 1, 2024. This prohibition applies during the duration of the long-term affordability restriction applicable to the affordable housing development set forth in § 240-7.15.

...

Chapter 240 Land Use

Article 1 General

...

§ 240-1.2 Purposes.

This chapter and its regulations are designed for all the purposes of zoning embraced in Maine Revised Statutes, among other things: to promote and conserve the health, safety, convenience, and welfare of the inhabitants; to encourage the most appropriate interrelationships of land uses and groups of land uses in the various parts of the Town; to secure safety from fire, panic, epidemics, flooding and other dangers; to provide adequate access of light and air; to prevent overcrowding of real estate; to lessen congestion in the streets; to facilitate the adequate provision of transportation, water, sanitary facilities, schools, parks and other public requirements, and to preserve and increase amenities throughout the Town of Kennebunkport. This chapter has been amended to comply with the Mandatory Shoreland Zoning Act^[1] and DEP Minimum Shoreland Zoning Guidelines to prevent and control water pollution; to protect fish spawning grounds, aquatic life, bird and other wildlife habitat; to protect buildings and lands from flooding and accelerated erosion; to protect archaeological and historic resources; to protect commercial fishing and maritime industries; to protect freshwater and coastal wetlands, and visual as well as actual points of access to inland and coastal waters; to conserve natural beauty and open space; and to anticipate and respond to the impacts of development in shoreland areas. This chapter has been further amended, consistent with the State Housing Law^[2], to affirmatively further the purposes of the Federal Fair Housing Act, 42 U.S.C. ch. 45, as amended, and the Maine Human Rights Act, 5 M.R.S.A. ch. 337, to achieve the

applicable statewide or regional housing production goal established by the Maine Department of Economic and Community Development.

[1] *Editor's Note: See 38 M.R.S.A. § 435 et seq.*

[2] *Editor's Note: See 30-A M.R.S.A. § 4364 et seq.*

...

§ 240-1.9 **When effective.**

This chapter shall become effective as soon as it receives a favorable vote of the voters of the Town.

...

Article 2 Terminology

...

§ 240-2.2 **Definitions.**

...

ACCESSORY DWELLING UNIT

See “apartment, accessory.”

...

APARTMENT, ACCESSORY

A separate self-contained dwelling unit which may be located within a single-family dwelling, attached to or sharing a wall with a detached structure as permitted under § 240-7.1 of this chapter. An accessory apartment is an extension of use and may not be independently conveyed except to the extent permitted by law. An accessory apartment may be considered an accessory dwelling unit under 30-A M.R.S.A. § 4364-B or an additional dwelling unit under 30-A M.R.S.A. § 4364-A, as determined by the municipal reviewing authority.

...

AFFORDABLE HOUSING or AFFORDABLE HOUSING DEVELOPMENT

A development composed of single-family dwellings, two-family dwellings, or multiplex dwellings, or any combination thereof, in which a household whose income does not exceed 80% (for rental housing) or 120% (for owned housing) of the area median income can afford a majority (51%) or more of the units in the development without spending more than 30% of the household’s monthly income on housing costs. For purposes of this definition, “housing costs” means: (a) for a rental unit, the cost of rent and any utilities (electric, heat, water, sewer, and/or trash) that the household pays separately from the rent; and (b) for an ownership unit, the cost of mortgage principal and interest, real estate taxes (including assessments), private mortgage insurance, homeowner’s insurance, condominium fees, and homeowners’ association fees.

...

AREA MEDIAN INCOME

The Area Median Income (AMI) describes the midpoint of an area’s income distribution, where 50 percent of households earn above the median figure while 50 percent earn less than the median. As required by the United States Housing Act of 1937, Public Law 75-412, 50 Stat. 888, Section 8, as

amended, the Department of Housing and Urban Development (HUD) calculates AMI for U.S. metropolitan areas on an annual basis.

...

BASE DENSITY

See “net residential density.”

...

CENTRALLY MANAGED WATER SYSTEM

A water system that provides water for human consumption through pipes or other constructed conveyances to at least 15 service connections or serves an average of at least 25 people for at least 60 days a year as regulated by 10-144 C.M.R. Ch. 231, *Rules Relating to Drinking Water*. This water system may be privately owned.

...

COMPARABLE SEWER SYSTEM

Any subsurface wastewater disposal system that discharges over 2,000 gallons of wastewater per day as regulated by 10-144 C.M.R. Ch. 241, *Subsurface Wastewater Disposal Rules*.

...

DESIGNATED GROWTH AREA

Any land identified as the “growth area” on the Town of Kennebunkport Growth Areas map (revised March 2021).

...

MULTI-FAMILY DWELLING

See “multiplex” or “dwelling,” Subsection C.

...

POTABLE

“Potable” as that term is defined the Maine Department of Economic and Community Development (DECD) Municipal Land Use and Zoning Ordinance Rule, codified at 19-100 C.M.R. ch. 5, § 1(B), as amended.

...

Article 4 Zone Regulations

...

§ 240-4.3 Village Residential Zone.

...

| | | |
|----------------|--|--|
| Permitted Uses | Conditional Uses Subject to Site Plan Review | Conditional Uses Subject to Zoning Board of Appeals Review |
|----------------|--|--|

...

| | | |
|--|---------------------------------------|--|
| | <u>Affordable housing development</u> | |
|--|---------------------------------------|--|

...

§ 240-4.4 Village Residential East Zone.

...

| | | |
|----------------|--|--|
| Permitted Uses | Conditional Uses Subject to Site Plan Review | Conditional Uses Subject to Zoning Board of Appeals Review |
|----------------|--|--|

...

| | | |
|--|---------------------------------------|--|
| | <u>Affordable housing development</u> | |
|--|---------------------------------------|--|

...

§ 240-4.5 Dock Square Zone.

...

| | | |
|----------------|--|--|
| Permitted Uses | Conditional Uses Subject to Site Plan Review | Conditional Uses Subject to Zoning Board of Appeals Review |
|----------------|--|--|

...

| | | |
|--|---------------------------------------|--|
| | <u>Affordable housing development</u> | |
|--|---------------------------------------|--|

...

§ 240-4.6 Riverfront Zone.

...

| | | |
|----------------|--|--|
| Permitted Uses | Conditional Uses Subject to Site Plan Review | Conditional Uses Subject to Zoning Board of Appeals Review |
|----------------|--|--|

...

| | | |
|--|---------------------------------------|--|
| | <u>Affordable housing development</u> | |
|--|---------------------------------------|--|

...

§ 240-4.10 Cape Porpoise Square Zone.

...

| | | |
|----------------|--|--|
| Permitted Uses | Conditional Uses Subject to Site Plan Review | Conditional Uses Subject to Zoning Board of Appeals Review |
|----------------|--|--|

...

| | | |
|--|---------------------------------------|--|
| | <u>Affordable housing development</u> | |
|--|---------------------------------------|--|

...

Article 6 Town-Wide Regulations

...

§ 240-6.10 **Residential parking standards.**

...

G. An affordable housing development must provide a minimum of 2 off-street parking spaces per 3 dwelling units. If fractional results occur, the minimum number of off-street parking spaces are rounded up to the nearest whole number.

H. As part of a site plan or subdivision review, the Planning Board may require additional on-street parking spaces on private ways if it determines it is in the best interest of the health, safety, and welfare of the Town.

...

§ 240-6.11 **Sanitary and potability provisions.**

A. Connection to public facilities. All plumbing shall be connected to public collection and treatment facilities when required by other ordinances.

B. Subsurface sewage disposal. No plumbing permit shall be issued for a subsurface disposal system unless:

- (1) The system meets the requirements of the State of Maine Subsurface Wastewater Disposal Rules, 10-144 CMR Chapter 241; a second disposal site that meets the state rules is not required unless mandated by other law. Any such site shall be shown on the permit application as a reserve area and be set aside on the plot plan for possible future use as a disposal site; and
- (2) Any other optional provisions adopted by the Town have been complied with.

C. State housing law wastewater disposal and potable water requirements. Prior to issuing a certificate of occupancy pursuant to § 240-11.8 of this chapter, the owner of a dwelling unit, accessory apartment, or unit within an affordable housing development must provide written verification to the Code Enforcement Officer that the unit is connected to adequate water and wastewater services, as required by the Maine Department of Economic and Community Development (DECD) Municipal Land Use and Zoning Ordinance Rule, codified at 19-100 C.M.R. ch. 5, as amended. Any tests of an existing well or proposed well must indicate that the water supply is potable and acceptable for domestic use. The written verification required by this subsection C shall apply only to the extent such written verification is required by 30-A M.R.S.A. §§ 4364(5), 4364 A(4), or 4364-B(7). The Code Enforcement Officer and Planning Board may condition any permits or approvals on such written verification.

...

Article 7 Performance Standards for Specific Activities, Land Uses and Zones

...

§ 240-7.1 **Accessory apartments.**

An accessory apartment that complies with the following standards is exempt from the minimum lot area, minimum lot width, and minimum net residential area per dwelling unit requirements applicable to the zone in which the accessory apartment is constructed. An accessory apartment is not considered a two-family dwelling or a multiplex, and is not considered a dwelling unit for purposes of (1) applying the residential parking standards in § 240-6.10, (2) applying the road construction, filling and grading standards in § 240-6.14, (3) applying the growth management permit requirements in § 240-11.12, (4) counting the number of dwelling units when applying the subdivision definition in 30-A M.R.S.A. § 4401, as amended, and (5) calculating the net residential area pursuant to § 415-11.17. An accessory apartment

that does not comply with the following standards is considered a dwelling unit and must comply with all applicable standards for a dwelling unit. An accessory apartment may only be located on a lot containing one or more in, attached to, or detached from single-family dwellings, ~~shall not be defined as a two-family or a multiplex, are allowed as a permitted use in all zones, except where otherwise noted in Subsection D, and are subject to the limitations below:~~

- A. A request for an accessory apartment requires submittal of a site plan that shall include the property owner with deed reference, lot boundaries and dimensions to scale and the location and setbacks of all buildings and parking areas.
- B. A request for an accessory apartment shall include a plan of the entire building showing a separate floor layout of all finished levels identifying the use of all rooms and the location of all entrances/exits.
- C. For an accessory apartment located within or attached to a single-family dwelling, ~~t~~The dwelling shall have only one front entrance and all other entrances shall be either on the side or in the rear of the dwelling or accessory apartment. An entrance leading to a foyer with interior entrances leading from the foyer to the ~~two~~ accessory apartment and the single-family dwelling units is permitted.
- D. The living area of an accessory apartment shall be a minimum of 190 square feet, and a maximum of 800 square feet. An accessory apartment may not have any living space on a third story unless it meets the minimum life safety requirements as defined in the Building Code.
- ~~ED.~~ An ~~a~~Accessory apartments ~~are~~ is not permitted in the Shoreland Zone unless the lot on which it will be located has at least double the required minimum lot size and shore frontage for that zone, ~~double the minimum lot size, and double the shore frontage for that zone.~~
- ~~FE.~~ Only ~~No more than~~ one accessory apartment shall be permitted on a lot containing one or more ~~per~~ single-family dwellings.
- ~~GF.~~ An accessory apartment shall be occupied as a primary residence. ("Primary residence" shall be defined as more than six months per year.) An accessory apartment is not eligible to operate as a short-term rental.
- ~~HG.~~ An ~~a~~Accessory apartment located on properties connected to the Town's wastewater collection system must be approved by the Sewer Department. Properties utilizing subsurface waste system and private wells must meet the standards required in the Maine Subsurface Wastewater Disposal Rules. In addition:
 - (1) ~~E~~Existing septic systems must be evaluated for condition and capacity by a licensed site evaluator. A reserve is required for existing and new systems in the event that replacement is necessary. Biannual pump-outs of septic systems servicing the property are required and documentation must be provided to the Town upon request.
 - (2) Properties serviced by private wells must provide to the Code Enforcement Office a water quality test to ensure adequate water quality prior to issuance of a certificate of occupancy.
- I. For an accessory apartment that is a separate structure or attached to a single-family dwelling, the proposal must comply with best management practices in managing stormwater for low-impact development, in accordance with the [LID Guidance Manual for Maine Communities](#) (Maine Department of Environmental Protection, Sep. 21, 2007).
- J. An accessory apartment is an extension of a residential use and may not be independently ~~conveyed~~ except to the extent permitted by law.

K. Except as expressly provided in this section, an accessory apartment must comply with all other requirements of this Code, including but not limited to Article 6 and any shoreland zoning requirements.

...

§ 240-7.14 Residential rental accommodations.

...

B. Performance standards. Residential rental accommodations are prohibited in accessory apartments. No more than two rooms in a residential rental accommodation may be let out to roomers, provided that:

...

§ 240-7.15 Affordable housing.

An affordable housing development that complies with the requirements of this section is eligible for a dwelling unit density bonus of 2 ½ times the base density that is otherwise allowed on the lot proposed for affordable housing development. If fractional results occur when calculating the density bonus, the maximum number of allowed units shall be rounded down to the nearest whole number.

A. Location. The affordable housing development must be either (1) located in a designated growth area or (2) served by a public, special district, or other centrally managed water system and a public, special district, or other comparable sewer system.

B. Long-term affordability.

(1) More than half (51%) of the total dwelling units in the affordable housing development must be designated as affordable rental units or affordable homeownership units.

(2) Prior to the issuance of a certificate of occupancy for a structure to be used for an affordable housing development, the owner of the affordable housing development must execute a restrictive covenant recorded in the York County Registry of Deeds and enforceable by a third party acceptable to the Planning Board, to ensure that for at least thirty (30) years after completion of construction occupancy of all units designated affordable in the development will remain limited to households at or below 80% (for rental housing) or 120% (for owned housing) of the local area median income at the time of initial occupancy. The restrictive covenant must run with the land and encumber the affordable housing development, be binding upon the developer (for rental housing) or the unit owners (for owned housing) and their successors and assigns, and inure to the benefit of and be enforceable by the Town a third party acceptable to the Planning Board.

C. Water and wastewater.

(1) The sanitary and potability standards in § 240-6.11 shall apply to each unit within the affordable housing development.

(2) The developer of the affordable housing development must make adequate provision for the long-term maintenance, repair, and improvement of any (i) individual private septic system, (ii) comparable sewer systems, (iii) individual private wells, and (iv) public water systems proposed to serve the units within the affordable housing development, including a process of collection and enforcement to obtain capital improvement funds from the developer (for rental housing) or the unit owners (for owned housing).

D. Multiplex development. The provisions of § 240-7.11 shall apply to any affordable housing development that includes a multiplex building.

E. Short-term rental prohibition. No unit (whether designated as affordable or not) within an affordable housing development may be used for short-term rental pursuant to Chapter 129 of this Code during the duration of the long-term affordability restriction in subsection B(2), above.

F. Nothing in this Section exempts an affordable housing development from any other requirements of this Code, including but not limited to the growth management permit requirements in § 240-11.12, the subdivision regulations in Chapter 415 of this code, or any shoreland zoning requirements.

...

Article 8 Nonconformance and Vested Rights

...

§ 240-8.5 Nonconforming due to lack of required parking or loading space.

A building or structure, other than a single-family dwelling or an accessory apartment, which is nonconforming as to the requirements for off-street parking and/or loading space, shall not be extended or enlarged in any manner unless off-street parking and/or loading space is provided to bring parking and/or loading space into conformance with the requirements of this chapter for both the addition or alteration and for the original building or structure.

...

§ 240-8.7 Nonconforming lots.

A. A nonconforming lot of record, not adjoined by any other lot in common ownership, may be built upon, as a matter of right for a single-family dwelling, an accessory apartment constructed in accordance with § 240-7.1, and permitted accessory uses, and without the need for a variance, subject to all the requirements of this chapter for the zone where located, except for those area and frontage requirements which made the lot nonconforming, provided that the owner can demonstrate that there is reasonable access to the site by emergency vehicles.

...

§ 240-8.8 Nonconforming uses.

A. Expansions. Expansions of nonconforming uses are prohibited, except that nonconforming residential uses may, after obtaining a permit from the Planning Board, be expanded within existing residential structures or within expansion of such structures in Shoreland Zones as allowed in § 240-8.3B(1) above. For purposes of this section, an accessory apartment constructed in accordance with § 240-7.1 is not an expansion of a nonconforming use.

...

Chapter 415 Subdivision Regulations

...

Article 3 Terminology

...

AFFORDABLE HOUSING

See "affordable housing," in § 240-2.2. (As defined by M.R.S.A.) Those housing units that will meet the sales price and/or rental targets established by the Comprehensive Plan and subsequent amendments or revisions for housing affordability.

...

§ 415-5.1 Filing procedure.

...

- (5) An evaluation of the potential of the site for a cluster development as well as "affordable housing" as defined in the Kennebunkport Comprehensive Plan.

...

§ 415-11.17 Calculation of net residential area.

- A. The area or lot site available for development shall be determined by the Code Enforcement Officer by subtracting from the gross acreage of the lot the exclusions listed in the Kennebunkport Land Use Ordinance (LUO)^[1] definition of "net residential area" in addition to open land as required by § 415-11.8 that is not already included within the exclusions required by the LUO definition of "net residential area."

[1] *Editor's Note: See Ch. 240, Land Use.*

- B. The maximum number of dwelling units, not including accessory apartments, permissible (maximum density) in any subdivision will be determined by dividing the net residential area as determined by § 415-11.17A above by the minimum lot size required by Chapter 240, Land Use.

...

AGENDA ITEM DIVIDER

TOWN OF KENNEBUNKPORT

**WARRANT
ANNUAL TOWN MEETING
June 11 and 12, 2024**

State of Maine

County of York, SS.

To: Rebecca Nolette, Constable of the Town of Kennebunkport, in the County of York, State of Maine.

You are hereby required in the name of the State of Maine to notify and warn the voters of the Town of Kennebunkport in said County and State of the Town Meeting described in this warrant.

GREETINGS:

To the voters of Kennebunkport: You are hereby notified that the Annual Town Meeting of this municipality will be held at Village Fire Station, located at 32 North Street, in said Town on Tuesday, June 11, 2024, at 8:00 a.m. for the purpose of acting on Articles numbered one a (1a) and one (1) as set out below. The polls for voting on Article 1 shall be opened immediately after the election of the Moderator at 8:00 a.m. on June 11, 2024, and shall close at 8:00 p.m. While the polls are open, the Registrar of Voters will hold office hours to accept the registration of any person eligible to vote, to accept new enrollments, and to make any necessary corrections or changes to any names or addresses on the voting list. The continuation of said meeting will be held in the gymnasium of the Kennebunkport Consolidated School located at 25 School Street on Wednesday, June 12, 2024, at 6:00 p.m. for the purpose of acting on Articles numbered 2 through 14 as set out below.

ARTICLE 1a. To choose a Moderator to preside at said meeting.

ARTICLE 1. To elect under the provisions of Title 30-A, M.R.S.A. Section 2528, the following Town Officers: two (2) Selectmen, for a term of three years each; one (1) Director of Regional School Unit No. 21, for a term of three years; one (1) Director of Regional School Unit No. 21, for a term of one year; one (1) Trustee, KK&W Water District; one (1) Beach Advisory Committee At-Large Member, for a term of three years; and to vote on the following referendum questions 1 and 2.

For each Question (1 and 2), a certified copy of the proposed ordinance is on file in the Town Clerk's Office and is incorporated by reference into each Question.

QUESTION 1
AMENDMENT TO THE KENNEBUNKPORT LAND USE ORDINANCE
TO COMPLY WITH LD2003 REGARDING NEW STATE HOUSING LAW

Shall an ordinance entitled “June 2024 Amendment to the Land Use Ordinance and subsequent amendments to the Town Code” be enacted?

[Note of explanation: This amendment brings our Land Use Ordinance and other code chapters to be in compliance with State Law by allowing for new housing opportunities for property owners. It will take effect on July 1, 2024.]

QUESTION 2
AMENDMENT TO THE KENNEBUNKPORT TOWN CODE,
FLOODPLAIN MANAGEMENT ORDINANCE

Shall an ordinance entitled “June 2024 Amendment to Floodplain Management Ordinance” be enacted?

[Note of explanation: This amendment allows for the Town's continued participation in the National Flood Insurance Program by adopting the latest rules and Flood Insurance Rate coverage maps approved by the Federal Emergency Management Agency. Failure to adopt this ordinance amendment will disqualify mortgagors from participating in the National Flood Insurance Program.]

ARTICLE 2: To see if the Town will vote to approve the following:

- A. To authorize the Town Treasurer, with the advice and approval of the Municipal Officers on behalf of the Town to sell and dispose of Real Estate acquired by the Town for nonpayment of taxes thereon, and to execute quitclaim deeds on such terms as they deem advisable, and to authorize the Treasurer to discharge unmatured liens on payment of taxes, interest and costs.
- B. To authorize the Town Treasurer, with the advice and approval of the Municipal Officers on behalf of the Town, to waive the foreclosure of any tax lien mortgage by recording a waiver of foreclosure in the York County Registry of Deeds for any real estate title to which they deem not in the best financial interest of the Town to hold, said authorization to waive not to prevent the Town Treasurer, with the advice and approval of the Municipal Officers, from later foreclosing on said tax lien pursuant to law, as they deem advisable.
- C. To make all real and personal property taxes due and payable upon presentment of bills and to charge eight and a half percent (8.50%) per annum on the first half if unpaid after

September 10, 2024 (or 45 days after the date of commitment if commitment is after July 21, 2024) and on the second half if unpaid after March 10, 2025.

- D. To set the interest rate to be paid by the Town on abated taxes at eight and a half percent (8.50%) for the fiscal year 2025.
- E. To see if the Town will vote to authorize the Tax Collector to enter into a standard agreement with taxpayers establishing a “tax club” payment plan for commercial and/or residential real estate property taxes. (*Explanation: This article allows the Town to establish a tax club for citizens, similar to a Christmas club. Citizens establish a payment plan so that they can make monthly payments throughout the year without risk of penalties or interest charges.*)

Selectmen recommend adoption of this article– Voted: 4-1

ARTICLE 3: To see if the Town will vote to approve the following:

- A. To authorize the Selectmen to pay for tax abatements and applicable interest granted during the fiscal year of 2024/2025 from Overlay. (*Explanation: The Selectmen, as Assessors, are authorized to raise Overlay under Title 36 MRSA section 710 but require voter authorization to spend Overlay. Overlay cannot be more than 5% of the Tax Commitment.*)
- B. To authorize the Selectmen to apply for, accept and expend from the following categories of funds as provided by the State of Maine: Municipal Revenue Sharing, Educational Certification Block Grant, Educational Tax Relief Grant, Public Library State Aid, Urban Rural Road Initiative Program, Civil Emergency Funds, Snowmobile Registration Funds, Tree Growth Reimbursement, General Assistance Reimbursement, Veterans Exemption Reimbursement, Department of Economic & Community Development Grant Program, Maine Emergency Management Agency, Homestead Exemption Reimbursement, and all other state and federal grants and funds including, when necessary, the authority to sign grant contracts, documents or other paperwork?
- C. To authorize the Selectmen to carry forward unencumbered surplus fund balances on June 30, 2025, for the purposes originally appropriated and to appropriate such fund balances for such purposes to the extent the Selectmen deem advisable, such determination to be made at a properly noticed meeting of the Board of Selectmen.

Selectmen recommend adoption of this article– Voted: 5-0

Budget Board recommends adoption of this article – Voted: 11-0

ARTICLE 4: To see if the Town will vote to approve the following:

- A. To authorize the Tax Collector or Treasurer to accept prepayments of taxes not yet committed pursuant to 36 M.R.S.A. § 506.
- B. To authorize the Selectmen to accept easement deeds on behalf of the Town granting the Town the right to plant and maintain certain trees on private property located within the Town.
- C. To authorize the Selectmen to accept unconditional and conditional gifts of money or property on behalf of the Town, other than gifts of sewer extensions, subject to ratification by the Town at an annual or special town meeting held within one year of the Selectmen's acceptance, except that such ratification shall not be required for a donation of money to the Town to supplement a specific appropriation already made, to reduce the tax assessment, or to reduce the permanent debt.

Selectmen recommend adoption of this article– Voted: 5-0

ARTICLE 5: To see what sum the Town will vote to raise and appropriate for General Government Program expenses.

Amount requested: \$2,444,608

Selectmen recommend adoption of this article– Voted 5-0
Budget Board recommends adoption of this article – Voted 11-0

ARTICLE 6: To see what sum the Town will vote to raise and appropriate for Public Safety Program expenses.

Amount requested \$3,508,414

Selectmen recommend adoption of this article– Voted 5-0
Budget Board recommends adoption of this article – Voted 11-0

ARTICLE 7: To see what sum the Town will vote to raise and appropriate for Health & Welfare Program expenses.

Amount requested: \$1,021,536

Selectmen recommend adoption of this article– Voted 5-0
Budget Board recommends adoption of this article – Voted 11-0

ARTICLE 8: To see what sum the Town will vote to raise and appropriate for the Public Works Program expenses.

Amount requested: \$1,560,176

Selectmen recommend adoption of this article– Voted 5-0

Budget Board recommends adoption of this article – Voted 11-0

ARTICLE 9: To see what sum the Town will vote to raise and appropriate for Recreation, Culture, Contingency and Miscellaneous Program expenses.

Amount requested: \$1,088,176

Selectmen recommend adoption of this article– Voted 5-0

Budget Board recommends adoption of this article – Voted 11-0.

ARTICLE 10: To see what sum the Town will vote to raise and appropriate for Capital Expense & Reserve Account and Debt Service Payments.

Amount requested: \$3,774,845

Selectmen recommend adoption of this article– Voted 5-0

Budget Board recommends adoption of this article – Voted 11-0

ARTICLE 11: To see if the Town will vote to appropriate \$4,173,950 from estimated non-property tax revenues, \$200,000 from undesignated fund balance, and \$600,000 from Capital Projects Reserve Account to reduce the property tax commitment.

Selectmen recommend adoption of this article– Voted: 5-0

Budget Board recommends adoption of this article – Voted: 11-0

ARTICLE 12: To see if the Town will vote to authorize the transfer of a 1980 GMC 4WD Utility Truck, VIN # TMK341524312, commonly known as “Kennebunkport Brush 35”, from the Town of Kennebunkport Fire Department to the Goose Rocks Beach Fire Company with the condition that if the Goose Rocks Beach Fire Company sells said “Brush 35”, all net proceeds of the sale will be used toward the purchase of firefighting or rescue equipment, approved by the Fire Chief and to be owned by the Town.

Selectmen recommend adoption of this article– Voted: 5-0

ARTICLE 13: To see if the Town will vote to authorize the transfer of a 1984 GMC 4WD Utility Truck, VIN # 2GTHK34M1E1540285, commonly known as “Kennebunkport Brush 15”, from the Town of Kennebunkport Fire Department to the Port Village Fire Company with the condition that if the Port Village Fire Company sells said “Brush 15”, all net proceeds of the sale will be used toward the purchase of firefighting or rescue equipment, approved by the Fire Chief and to be owned by the Town.

Selectmen recommend adoption of this article– Voted: 5-0

ARTICLE 14: To see if the Town will vote to authorize the transfer of a 1998 HME/Smeal Ladder Truck, VIN # 44KFT428XWWZ18897, commonly known as “Kennebunkport Ladder 34”, from the Town of Kennebunkport Fire Department to the Goose Rocks Beach Fire Company with the condition that if the Goose Rocks Beach Fire Company sells said “Ladder 34”, all net proceeds of the sale will be used toward the purchase of firefighting or rescue equipment, approved by the Fire Chief and to be owned by the Town.

Selectmen recommend adoption of this article– Voted: 5-0

HEREOF FAIL NOT TO MAKE DUE SERVICE of this Warrant and a return of your doing thereon, at a time and place of said meeting.

GIVEN UNDER OUR HANDS this 25th day of April 2024, Kennebunkport, Maine.

Jon Dykstra

Allen Daggett

Marybeth Gilbert

Sheila W. Matthews-Bull

Michael Weston, Chair

A majority of the Selectmen of the Town of Kennebunkport, Maine

A true attested copy of the warrant attest:

Tracey L. O’Roak, Town Clerk

AGENDA ITEM DIVIDER

**WARRANT AND NOTICE OF ELECTION
CALLING REGIONAL SCHOOL UNIT NO. 21
BUDGET VALIDATION REFERENDUM
(20-A M.R.S. § 1486)**

TO: Margaret Wibel, a resident of Regional School Unit No. 21 (the “Regional School Unit”) composed of the Towns of Arundel, Kennebunk and Kennebunkport, State of Maine.

In the name of the State of Maine, you are hereby ordered to serve upon the municipal clerks of each of the municipalities within the Regional School Unit, namely, the Towns of Arundel, Kennebunk and Kennebunkport, an attested copy of this warrant and notice of election. Service shall be in hand within three (3) days of the date of this warrant and notice of election. The municipal clerks of the above municipalities shall immediately notify the respective Municipal Officers. The Municipal Officers shall meet forthwith and countersign this warrant and notice of election. The Municipal Officers shall provide below for the respective municipal clerks to post or have posted this warrant and notice of election.

**TOWN OF KENNEBUNKPORT
REGIONAL SCHOOL UNIT BUDGET VALIDATION REFERENDUM
WARRANT AND NOTICE OF ELECTION**

York County, ss.

State of Maine

TO: Tracey O’Roak, Constable of Kennebunkport: You are hereby required in the name of the State of Maine to notify the voters of this municipality of the election described in this warrant and notice of election.

TO THE VOTERS OF KENNEBUNKPORT: You are hereby notified that a Regional School Unit budget validation referendum election will be held at the Kennebunkport Village Fire Station, 32 North Street in the Town of Kennebunkport on Tuesday, June 11, 2024 for the purpose of determining the following question:

Question 1: Do you favor approving the Regional School Unit No. 21 budget for the upcoming school year that was adopted at the latest Regional School Unit budget meeting?

The voting on Question 1 shall be by secret ballot referendum. The polls must be opened at 8:00 a.m. and closed at 8:00 p.m.

The Registrar of Voters shall hold office hours while the polls are open to correct any error in or change a name or address on the voting list; to accept the registration of any person eligible to vote and to accept new enrollments.

A person who is not registered as a voter may not vote in any election.

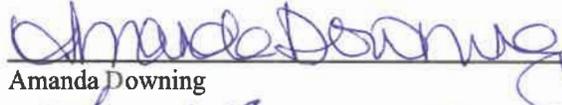
Given under our hand this day, February 5, 2024 at Kennebunk, Maine.


Kirstin Shapiro

Britney Gerth


Erin Madeau

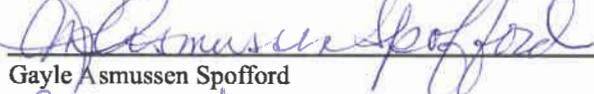
Claudia Sayre


Amanda Downing


Peter Sentner

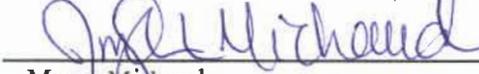

Leah Bares


Lesley Stoeffler


Gayle Asmussen Spofford


Diane Franz


Susan Holleran


Megan Michaud

A majority of the School Board of Regional School Unit No. 21

A true copy of the Warrant and Notice of Election, attest:


Margaret Wibel, Resident of
Regional School Unit No. 21

Countersigned this _____ day of _____, 2024 at Kennebunkport, Maine.

A majority of the Municipal Officers of Kennebunkport, Maine

A true copy of the Warrant and Notice of Election, attest:

Tracey O'Roak, Town Clerk
Kennebunkport, Maine

AGENDA ITEM DIVIDER

Memorandum

To: Board of Selectmen

Laurie Smith, Town Manager

Fr: John Everett, Fire Chief

Re: Lease agreement between the Town of Kennebunkport and KEMS

De: April 22, 2024

In 2023, the Town authorized the acceptance of the Cape Porpoise Fire Station from the Atlantic Volunteer Engine Company (AVEC). Staff have been working with our attorney to complete the real estate transfer, which should occur at the end of the month. Currently KEMS has a lease with AVEC which will expire with the transfer of the property. Staff are seeking authorization from the Board to enter into a lease with KEMS for the same space they rented from AVEC.

Please find attached the lease document between the Town and KEMS for the three-year term starting May 1, 2024, and ending April 30, 2027.

This document is agreeable to both the KEM's Board and the Fire Chief.

The current lease KEMS has with the Atlantic Volunteer Engine Company (AVEC) has a base rent of \$1,500.00 annually and they pay three-quarters of the utilities. The utilities are water, heating fuel and electricity. The lease with the Town removes the \$1,500.00 base rent and increases KEMS' utility payment to 100% of the previously listed utilities. This should equate to approximately the same annual rent.

LEASE AGREEMENT

This Lease Agreement (the "Lease") is made as of this **Thirtieth day of April, 2024** by and between the **TOWN OF KENNEBUNKPORT**, a municipal corporation existing under the laws of the State of Maine with a mailing address of P.O. Box 566 and a physical address of 6 Elm Street, Kennebunkport, Maine, 04046 ("Landlord") and **KENNEBUNKPORT EMERGENCY MEDICAL SERVICES INC.**, a non-profit corporation existing under the laws of the State of Maine with a mailing address of P.O. Box 1761, Kennebunkport, Maine 04046 ("Tenant").

LANDLORD representative for day-to-day activities shall be the Kennebunkport Fire Department [KPPFD] Fire Chief or designate.

TENANT representative for day-to-day activities shall be the KEMS Chief of Operations or designate.

1. Leased Premises. Landlord hereby leases to Tenant and Tenant hereby leases from Landlord, upon the terms and conditions set forth herein, certain premises located within the building (the "Building") at 172 Main Street, Cape Porpoise, in the Town of Kennebunkport, Maine (the "Property") consisting of (i) that portion of the Building on the first floor, known as the Ambulance Bay; (ii) a lockable storage room located behind said Ambulance Bay (the "Storage Room"); (iii) the storage area above the Laundry Room (as defined herein) and Storage Room; and (iv) a lockable office (the "Office") on the northwest side of the second floor of the Building; (v) the lockable storage area above the stairs; (vi) the lockable, center room, storage area on east side of building.

(the foregoing collectively referred to herein as the "Premises"). Tenant shall also have the non-exclusive use in common with Landlord of (i) a laundry room located behind said Ambulance Bay (the "Laundry Room"); and (ii) the remaining portions of the second floor, except for the Atlantic Volunteer Engine Company ("AVEC") office. The parties acknowledge that the washer and dryer in the Laundry Room are property of Tenant, however, the sink in Laundry Room shall be shared by Landlord and Tenant in common. Tenant shall also have access to those portions of the Building necessary to gain entrance to the Premises. Landlord hereby grants to Tenant's employees and invitees of Tenant attending meetings within the Building (previously approved by Landlord) the right to (a) use the restrooms located within the Building; (b) park in designated parking spaces located on the Property; and (c) access other areas of the Building including the second-floor meeting room and related facilities, subject to reasonable rules and regulations promulgated by Landlord, currently in use at all of its other fire stations.

2. Term. Unless terminated earlier as provided herein, the term of this Lease shall commence **April 30, 2024** (the "Commencement Date") and end at midnight **April 30, 2027** (the "Term"). Notwithstanding the foregoing or anything to the contrary set forth herein, Tenant shall have the right to terminate this Lease by giving Landlord written notice at least thirty (30) days

prior to such termination if Tenant is unable to secure approval for the funding and/or appropriation necessary to meet its obligations herein.

3. Extension of Term. Prior to the expiration of the Term, Landlord and Tenant shall have the option to extend the Term upon acceptance of mutually agreeable written provisions.

4. Base Rent. Tenant shall pay no base rent.

5. Utilities. Tenant shall be solely responsible for and shall promptly pay all charges for cable, telephone, and internet to the Premises. Tenant shall reimburse the landlord for 100% of the charges for heat, hot water, electricity, oil, propane, and any other utility used or consumed in connection with the use or operation of the Premises (collectively, the "Utilities), on a quarterly basis. Landlord shall write or electronically invoice the Tenant for the Utilities on January 1, April 1, July 1, and October 1 of each year of the Term whereupon Tenant shall reimburse Landlord within ten (10) days of receipt. The Utilities will only be billed for the month(s) used.

6. Property Taxes. Tenant shall not be responsible for any property taxes assessed in connection with the Premises. Any taxes for the personal property of Tenant or any other business tax associated with Tenant's activities on the Premises will be the responsibility of the Tenant.

7. Operation of Premises. Tenant shall use the Premises for the operation of an emergency medical service and for no other purpose without Landlord's prior written consent.

8. Alterations. Tenant shall make no alterations to the Premises without Landlord's prior written consent.

9. Repairs and Maintenance.

(a) Unless caused by the negligent actions or misconduct of Landlord or its employees, invitees or agents, Tenant, at its own cost and expense, shall keep the Premises in good order and condition, ordinary wear and tear excepted. Landlord shall be responsible for routine maintenance of the parking areas and walkways of the Property and shall be responsible for snow plowing and ice treatment.

(b) Unless caused by negligent actions or misconduct of Tenant or its employees, invitees or agents, Landlord shall, at its own cost and expense, (i) maintain and make all repairs to, and any replacement of, the Building and the Building's mechanical, electrical, plumbing and HVAC systems; and (ii), keep and maintain Building mechanical, electrical, plumbing and HVAC systems and the structure of the Building (including the roof, walls, doors, windows, and foundation) and the Building systems in good and watertight condition. Kitchen appliances shall be the responsibility of both the Landlord and Tenant jointly. Landlord will bill Tenant for half of any repairs or replacements of the kitchen appliances whereupon Tenant shall reimburse Landlord within ten (10) days of receipt.

(c) Landlord shall be responsible for pest and insect control.

10. Tenant's Covenants. Tenant covenants and agrees with Landlord:

(a) To pay when due all amounts due from Tenant at the times and in the manner provided in this Lease.

(b) Not to make any use of the Premises, which is improper, offensive, illegal, constitutes a nuisance or constitutes waste.

(c) To comply with all laws, ordinances, rules, and regulations of governmental authorities affecting the Premises, and obtain and maintain, at Tenant's expense, all licenses and permits required for use of the Premises.

(d) At the expiration of the Term, to surrender the Premises in good order and condition, reasonable wear and tear excepted. Tenant shall remove all its equipment and personal property before surrendering the Premises as aforesaid and shall repair any damage to the Premises caused thereby.

(e) To regularly clean the Premises and maintain the same in an orderly condition, including, but not limited to doing laundry, making the beds, and regularly emptying trash receptacles, this includes weekly pick-up of trash and bi-weekly recycling.

(f) To prohibit smoking in the Building and to purchase, place and maintain cigarette butt receptacle outside the Building.

11. Insurance

(a) Tenant may be entitled to certain immunities under the Maine Tort Claims Act, 14 M.R.S.A. 8101 et seq. (as the same may be revised from time to time, the "Act"). Tenant agrees to obtain, and to maintain in full force and effect during the Term, insurance coverage for those causes of action permitted against the Tenant under the Act in amounts up to the limits of liability established under the Act. Tenant shall be solely responsible to provide at its expense comprehensive general Liability insurance for the demised premises in an amount not less than \$1,000,000.00 per occurrence, listing Landlord as an additional insured, and insurance covering all of Tenant's personal property located at the Premises. Tenants shall provide certificates of insurance to Landlord demonstrating proof of such coverage annually.

(b) Landlord shall maintain with respect to the Premises property, fire, and casualty insurance in an amount of equal to the replacement value of the improvements to the Premises in companies qualified to do business in the State of Maine, insuring Landlord and Tenant (as an additional insured) against loss of the improvements at the Premises.

(c) Tenant and Landlord agree that neither Tenant's nor Landlord's insurance company shall have a right of subrogation against the other party and accordingly, each party waives all claims it may have and releases the other party on account of any loss, damage or injury to the building, any injury of which is covered by insurance required to be maintained hereunder. All

such insurance policies shall provide that the policies may not be cancelable or changed without at least thirty (30) days' prior written notice to each insured named therein.

12. Indemnity. Tenant shall indemnify and save Landlord harmless from any loss, claims or damages arising from any act, omission, or negligence of the Tenant or Tenant's contractors, agents, customers, invitees, or employees; or arising from any injury or damage whatsoever caused to any person (including Landlord) or to the property of any person occurring during the term hereof in or about the Premises which is in any way related to or arising out of this Lease or the Tenant's use of the Premises. This indemnity and hold harmless agreement shall survive the expiration and termination of this Lease and shall include indemnity against all costs, expenses and liabilities incurred in or in connection with any such claim or proceeding brought thereon, and the defense thereof (including reasonable attorney fees).

13. Hazardous Material. Tenant shall not cause or permit any Hazardous Material to be brought upon, used, stored, generated, or disposed of in or about the Premises by Tenant, Tenant's agents, employees, contractors, or invitees, without prior written consent from Landlord. Tenant shall be allowed to store various sized cylinders of oxygen on premises. Tenant shall be allowed to have a limited quantity of biohazards associated with the emergency ambulance service, provided they are stored in appropriate and labeled containers. Any Hazardous Materials permitted on the Premises, and all containers, therefore, shall be used, kept, stored, and disposed of in a manner that complies with all federal, state and local laws or regulations applicable to any such Hazardous Material. Tenant shall defend, indemnify and hold harmless Landlord, from and against any claims, demands, penalties, fines, liabilities, settlements, damages, costs, or expenses (including, without limitation, decrease in value of the property, attorney and consultant fees, court costs and litigation expenses) of whatever kind or nature, known or unknown, contingent or otherwise, arising out of or in any way related to any violation of this paragraph or any contamination of the Premises for which Tenant is legally responsible. The provisions of this paragraph shall be in addition to any other obligations and liabilities Tenant may have to Landlord at law or equity and shall survive the expiration or termination of this Lease. As used herein, the term "Hazardous Material" means any substance which is toxic, ignitable, reactive, or corrosive and which is regulated by local, state, or federal government. "Hazardous Material" includes any and all materials or substances which are defined as "hazardous waste" or "hazardous substance" in any local, state, or federal law or regulation, and includes but is not limited to asbestos, polychlorobiphenyls (PCB's) and petroleum.

14. Assignment and Subletting. Tenant shall not assign this Lease or sublease all or any portion of the Premises without in each instance having first received the express written consent of Landlord, which consent shall be in Landlord's sole discretion.

15. Damage and Destruction. If the Premises are destroyed or so damaged by fire or other casualty as to render more than twenty-five percent (25%) thereof unusable by Tenant for more than thirty (30) days after the occurrence of such fire or casualty, then either Tenant or Landlord, at their respective elections, may, by notice in writing to the other given within thirty (30) days next after such destruction or damage, terminate this Lease.

16. Covenant Against Liens and Encumbrances. Landlord represents and warrants that it is the fee simple owner of the Premises and that the Premises are free and clear of all mortgages, liens, and security interests.

17. Default By Tenant. Tenant shall be in default if (1) Tenant shall fail to pay charges when due; or (2) Tenant shall neglect or fail to perform any of the other covenants, terms, or provisions of this Lease, and such default by Tenant continues after notice, for more than thirty (30) days and such additional time, if any, as is reasonably necessary to cure the default; or (3) Tenant makes any assignment for the benefit of creditors, commits any act of bankruptcy or files a petition under any bankruptcy or insolvency law; or if such a petition filed against Tenant is not dismissed within ninety (90) days; or (4) Tenant's interest in this lease is taken on execution or other process of law in any action against Tenant. In case of any such default, and regardless of any waiver or consent to any earlier event of default, Landlord, at its option may exercise any and all remedies available to Landlord at law or equity, all such rights and remedies to be cumulative and not exclusive, including without limitation the following:

(a) Landlord may terminate this lease by written notice to Tenant, and Tenant shall quit and surrender the Premises and remain liable as set forth below.

(b) Landlord may immediately, or at any subsequent time, without demand or further notice, re-enter the Premises with or without process of law, and repossess the Premises and expel Tenant and those claiming under Tenant, and Landlord may remove any property from the Premises and store the same in any warehouse, all at the expense and risk of Tenant, or may dispose of the same in accordance with applicable law, and Tenant shall remain liable as set forth below.

(c) In the event of termination or re-entry after default, Tenant shall pay Landlord as damages all charges payable under this Lease up to the time of re-entry or termination. Tenant shall also reimburse Landlord for all Landlord's costs, including reasonable attorney's fees, expended in recovering possession, removing Tenant and Tenant's property, and exercising all other rights available to Landlord by reason of Tenant's default. Any suit brought by Landlord to recover the damages due under this section shall not prejudice Landlord's right to recover in any subsequent action brought for any amount not previously reduced to judgment.

(d) Nothing herein contained shall limit or prejudice the right of Landlord to prove for and obtain in proceedings for bankruptcy or insolvency by reason of the termination, an amount equal to the maximum allowed by any statute or rule of law in effect at the time when, and governing the proceedings in which, the damages are to be proved, whether or not the amount be greater, equal to, or less than the amount of the loss or damage referred to above. Tenant hereby waives any right of redemption that it may have under any present or future law in the event Tenant is evicted or dispossessed.

18. Self-Help. If Tenant shall default in this performance or observance of any agreement, condition or other provision in this Lease and shall not cure such default within fourteen (14) days after notice in writing from Landlord specifying the default, Landlord may, at its option, without waiving any claims for breach of agreement, at any time thereafter cures such default for the account of Tenant, and Tenant shall reimburse Landlord for the reasonable expense

so incurred, and any amounts due hereunder from Tenant shall be deemed additional rent due and payable on demand by Landlord.

19. Quiet Enjoyment. Landlord covenants and agrees with Tenant that upon Tenant observing and performing all the terms, covenants, and conditions on Tenant's part to be observed and performed, Tenant may peaceably and quietly have, hold, occupy, and enjoy the Premises without hindrance or molestation by anyone claiming by, through or under Landlord.

20. Landlord's Access. Landlord or agents of Landlord may, at all reasonable times during the Term, enter the Premises for any reasonable purpose provided that such use does not interfere with Tenant's use of Premises for private emergency medical service. The Landlord shall have access to the Office only when a representative of Tenant who has the authority to be within the Office is present. (HIPPA compliance)

21. Holding Over. If Tenant shall continue in occupancy of the Premises after the expiration of the Term, such occupancy shall not be deemed to extend or renew the terms of this Lease, but, at the option of Landlord, such occupancy shall continue as a tenancy at will from month to month upon the covenants, provisions and conditions herein contained. This Section shall not be construed as giving Tenant any right to hold over after the expiration of the Term.

22. Lease Not to Be Recorded. Landlord and Tenant agree that this Lease shall not be recorded, however, Landlord agrees to execute and deliver to Tenant, upon written request from Tenant, a Memorandum of Lease in recordable form.

23. Severability. If any provision of this Lease or its application to any person or circumstances shall to any extent be invalid or unenforceable, the remainder of this Lease, or the application of such provision to persons or circumstances other than those as to which it is invalid or unenforceable shall not be affected thereby and each provision of this Lease shall be valid and enforceable to the fullest extent permitted by law.

24. Successors and Assigns. The terms and provisions of the Lease shall be binding upon the successors, personal representatives and permitted assigns of the respective parties and shall inure to the benefit of the successors and assignees of Landlord. Nothing in this paragraph shall be deemed to authorize or permit any assignment or other transfer in whole or in part of the interest in Tenant in violation of other provisions of the Lease.

25. Modifications. This Lease shall not be modified in any way except by a writing executed by both parties.

26. Entire Agreement. This instrument contains the entire and only agreement between the parties, and no oral statements or representations or prior written matter not contained in this instrument shall have any force or effect.

27. Notice. Any notice required by this Lease or relating to the Premises shall be deemed duly delivered, if mailed to the other party by U.S. Postal Service registered or certified mail, return receipt requested, postage prepaid, or by reliable overnight courier addressed to the

other party's address as set forth herein, or as such other address as parties may from time to time advise in writing. Such notices shall be effective upon documented receipt by the other party.

28. Governing Law. This Lease shall be governed by the laws of the State of Maine.

29. Counterparts. This Lease may be executed in two or more counterparts, each of which shall be deemed an original and such counterparts together shall constitute one and the same instrument notwithstanding that all parties are not signatories to the same counterpart. Signatures appearing hereon that have been reproduced, applied, provided, delivered, or transmitted by facsimile, email, DocuSign or other electronic means shall be equally binding and effective as original signatures hereon, and shall be deemed duly and effectively delivered if so transmitted or provided.

IN WITNESS WHEREOF, the parties hereto have caused this Lease to be executed as of the day and year first written above.

LANDLORD:
The Town of Kennebunkport

Witness

By: Laurie Smith
Its: Town Manager

TENANT:
**Kennebunkport Emergency Medical
Services Inc.**

By: Jim Stockman
Its: Board of Directors, Chair

AGENDA ITEM DIVIDER

MEMORANDUM

To: Board of Selectmen
Laurie Smith, Town Manager
Fr: John Everett, Fire Chief
Re: Update on top 6 priorities from the recommendations of the Fire Study
Dt: April 18, 2024

Approximately one month ago the Selectboard received the final Public Safety Report from Municipal Resources (MRI), detailing their recommendations for both Fire and EMS services. The Town Manager and I met to discuss the variety of recommendations for the Fire Service and identified our top six priorities. The purpose of this memorandum is to give the Board an overview of our priorities and progress towards these goals.

1. Development of updated standard operating guidelines (SOG's)

The fire department is currently operating with a draft set of standard operating guidelines. I have been reviewing each one, which is a slow process. An SOG is not a step-by-step procedure for accomplishing a task. A rule of thumb is that an SOP should not be more than two pages in length.

Gathering all the information into an SOG for a complex call such as a carbon monoxide incident is challenging. The challenge is to cover all aspects of what is expected from our firefighters to handle the call. An SOG addresses all aspects of the call, from things like level of protection needed for responders, training and skill/experience of responders, equipment needed for the response, among others. The FY25 budget has funding for a Training Coordinator (TC) for the fire department. One of the jobs the TC will take on is assisting with getting the guidelines from draft form to final form. The TC will also be responsible for an annual review of the guidelines and assisting with writing new guidelines as needed.

2. Development of run card system

There are two parts of the run card system that need to be developed, they are automatic aid and mutual aid. With the run card system in place, a large-scale incident is easier to manage for both the dispatcher and Incident Commander. For the dispatcher it is a document that advises when, who and what they are to request from one or more of our multiple mutual aid partners. For the IC he/she just asks for an additional alarm assignment. This information is from the same predetermined document the Dispatcher uses; IC knows what they will receive for mutual aid. Writing out the plan for what town supplies and apparatus are needed is the easy part. Getting the agreements in place is much more time-consuming. This requires meeting with area Chiefs to explain the plan for an incident in Kennebunkport and why mutual aid is needed and how it will be used.

Currently, KPPFD has mutual aid agreements with our neighbors; however, we do not have any automatic aid agreements abutting departments. The difference between automatic aid and mutual aid is when the aid is called for. Certain call types would assign automatic aid, an example would be any call that sounds like a building fire. The automatic aid departments are called for at the same time KPPFD is notified. The mutual aid Chief would give their approval, based on what their towns own coverage would look like if they were called to Kennebunkport's incident. Most mutual aid agreements are made between the Town's Fire Chief's. Automatic aid usually is brought forward to the Town Manager and even possibly to the BOS for approval.

I have contacted the supervising dispatcher to assist me with a list of the information needed to go into this program. I reached out to him for his input as he will be training the dispatchers on use and inputting the data, so it is available to the dispatcher on their computer screen.

3. Enhancement of our skilled trainings

The FY25 budget has funding for a part-time (10 hours a week) training coordinator position. One of the tasks associated with this position is the development of a recurrent training schedule. This schedule would allow for members to attend trainings and over a period of a year or two be refreshed, or trained in the areas we do most of our work. Over the two years, other topics that we don't see much in this town will also be introduced to help our members become more experienced. My vision is we stay in the Tri-Town Training group we are presently in with Kennebunk and Arundel. The training coordinator and I will develop a training calendar for KPPFD members. On one hand it is fortunate that we are not a busy department, on the other hand, being busier more things would be second nature just due to the volume of use. Abilities degrade over time from lack of use, even in the fire department.

I will be searching for someone with a wide breadth of experience to give us a different perspectives. The qualifications needed are all credentials needed to teach Fire and EMS courses in the State along with several years of experience teaching these classes. If EMS comes under the FD in the future I would be looking to this person to be able to offer our people the instruction needed to get an EMS license.

4. Market Adjustment of wages

During FY25 budget preparations, I knew that wages should be addressed as they had not been reviewed during my tenure. I contacted area towns for their wage levels and received input from our abutting agencies. I discovered that in most areas Kennebunkport paid the lowest wages by a little and some areas by a lot. FY25's budget has funding to correct this and removes stipends paid to Officers (\$9,800.00 annually)

Other communities have at least per diem staff along with their call company members. They pay their per diem staff and their call staff the same hourly rates, and also give steps in pay based on qualifications, including level of medical licensure held. This means they have many more pay scale categories than KPFD. Currently, increases for medical licensure are not in our pay scale, but could be added in the future.

In my proposal, we have pay scales for the following categories, exterior only firefighter, interior firefighter, Fire Lieutenant, Fire Captain, and Deputy Fire Chief. I determined where our pay was lacking and developed pay categories that brought our pay more in line with the other towns. If the budget is approved in June these new pay categories will go into effect in July.

5. Development of a mentoring program

For last few years, KPFD had an unofficial mentoring program. This program asked for volunteers who would be willing to serve as a mentor to a new firefighter assigned to their station. I wanted to ensure a new member could become familiar with operations and have someone to answer questions for them. I was concerned that someone could slip through the cracks if they were not getting their needs met. In late 2023, Deputy Chief Noel Grayson and firefighter Steve Slarsky took this program to another level. They both attended a weekend-long class on developing a mentoring program. The program is almost ready to be rolled out to the department.

The new mentoring program has many checks and balances for both the mentor and mentee. There is a process that covers putting the right two people (mentor and mentee) together to ensure there is a good fit. The mentors must be members in very good standing within the department and attend specific training to be considered as a mentor. They will learn about the check lists the mentee must complete with the mentor. These are checklists make sure that certain items have been covered. The program calls for both the mentor and mentee to be reviewed by the administrator of the program, to make sure both are happy with all aspects of the relationship.

There are timelines as a guide, for completion. The program will go at the mentee's pace but must always be moving forward. We are really trying to make this program a success for both participants, and allows for the changing of mentors if the connection isn't there. We are hoping to roll it out, get people trained and start using it this Summer.

6. Safety Officer and review of our safety protocols

Our current Safety Officer is looking to step down. I have a qualified member of the department that has expressed interest in the job.

There are changes I am going to institute into the position and one of them would be to assist in the review, re-write, if necessary, and addition of new SOG's. Standard Operating Guidelines have a section specifically for safety. This section will cover items like how many personnel are needed, what personal protective equipment is needed, and any task specific safety information for the assignment.

Another change could be adding one or two more Safety Officers to the department. This cost, while it is a recommendation in the study to add more than one more safety officer, funding was not put into my FY25 budget as I felt other items in my budget outweighed this recommendation at this time.

I plan to change the job description to require the safety officer to be interior qualified. If I did have more than one, the requirement for interior status could go away as long as at least one or two were always interior qualified. The new safety officer would also be tasked with providing safety training to our members. These trainings would be but not limited to traffic flagging at scene where we are working in the road but the road is not closed, when and how to wear personal protective equipment, best safety practices in different seasons, around the station and at emergency scenes.

Once these first six priorities are well on their way to completion our team will review our next set of goals from the public safety study and update the Selectboard accordingly.

AGENDA ITEM DIVIDER

DRAFT DRAFT DRAFT DRAFT

April 22, 2024

Kennebunkport Climate Action Plan

Climate Resiliency (Or Sustainability?) Committee

Mission:

The Resiliency (Sustainability?) Committee consisting of seven (7) Kennebunkport citizens, working at the direction of the Select Board, will be a standing committee and will have an advisory relationship to the Select Board and Town Management. The committee will be required to complete the research and analysis necessary to support the Select Board and Town Management in making decisions in support of the Climate Action Plan adopted by the Select Board on March 28, 2024.

Procedure:

Kennebunkport citizens wishing to apply for a position on the committee must complete an information application required for volunteers and submit it to the Town Human Resource Director.

Applications will be reviewed by two members of the Select Board, and together with the Town Manager, they will make the selection of the 7 members.

A Select Board member shall be appointed as a liaison to the Committee.

The Committee will establish a quorum and a meeting schedule and will provide a quarterly status report to the Select Board.

AGENDA ITEM DIVIDER



TOWN OF KENNEBUNKPORT, MAINE
~ INCORPORATED 1653 ~

MEMORANDUM

Date: April 22, 2024
To: Growth Planning Committee & Planning Board
From: Galen Weibley
Re: Code Enforcement Officer Appointment – Derrick Stephens

With the recent employment of Derrick Stephens as the Code Enforcement Officer for the Town of Kennebunkport, the Selectboard is required to appoint a replacement Code Enforcement Officer per the Administrative Code.

Mr. Stephens joins the team with prior Code Enforcement Officer experience from the Town of Windham. Planning staff have supervised Derrick, and we have the utmost confidence in his ability to serve the town with distinction as the next Code Enforcement Officer for the Town of Kennebunkport.

Please consider appointing Derrick Stephens as the Code Enforcement Officer.

GO TO THE FIRST PAGE
